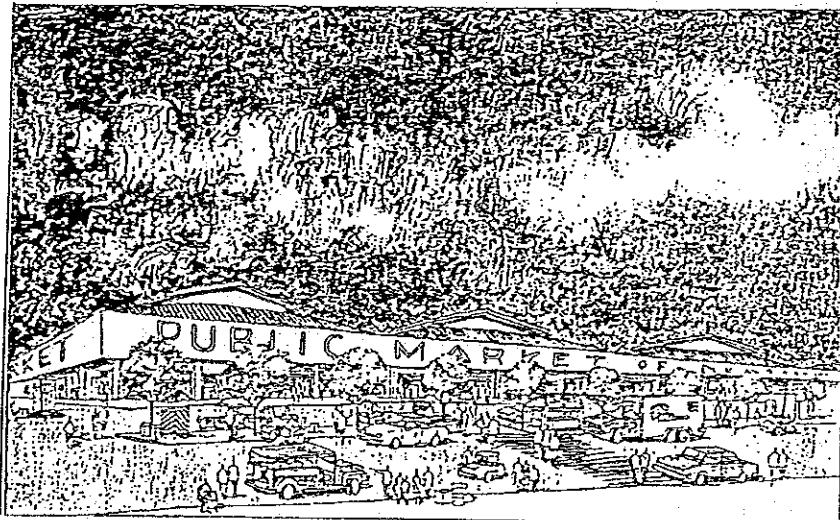


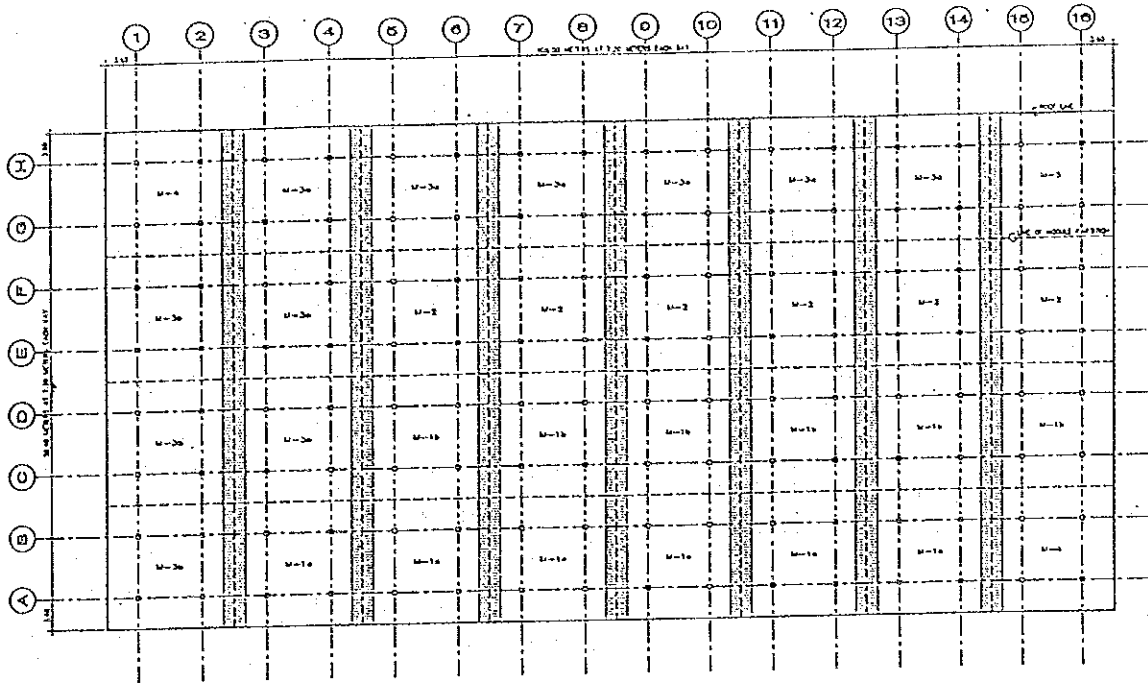


MODULAR APPROACH OF PUBLIC MARKET

DEPARTMENT OF INTERIOR AND LOCAL GOVERNMENT
REPUBLIC OF THE PHILIPPINES



DESIGNED BY	R. SORIANO
DESIGNED BY	A. MARIBBAY
DESIGNED BY	A. NEPOMUCENO
PROJECT	UPAN PUBLIC MARKET
PROJECT NO.	A-1



1 KEY FLOOR PLAN
A-2

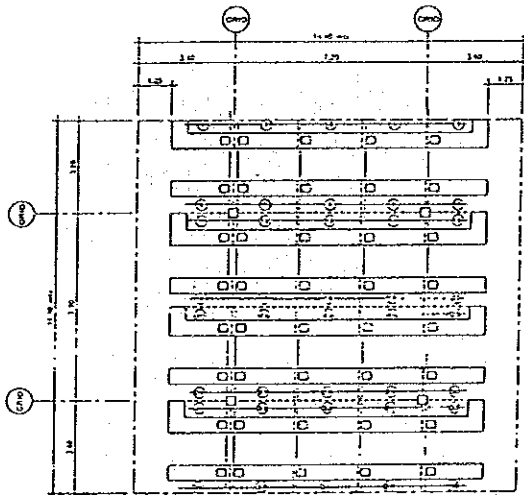
LEGEND

	M-1a	WET SECTION		M-3a	OTHERS
	M-1b	SOB-WET SECTION		M-4	PUBLIC TOILETS
	M-2	CANADADA		M-5	ADMINISTRATION
	M-3a	DRY GOODS			MAJOR PALANAT

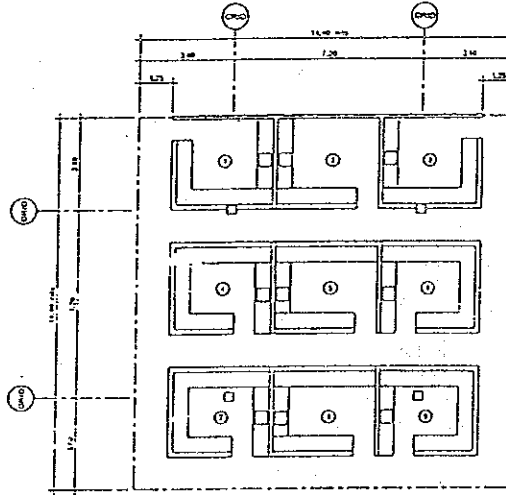
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URBAN PUBLIC MARKET

A-2



1 PLAN - MODULE NO. 1 (WET SECTION)
A-3

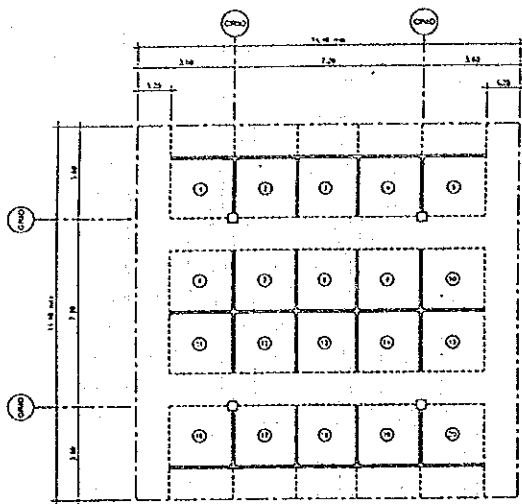


2 PLAN - MODULE NO. 2 (CANADADA SECTION)
A-3

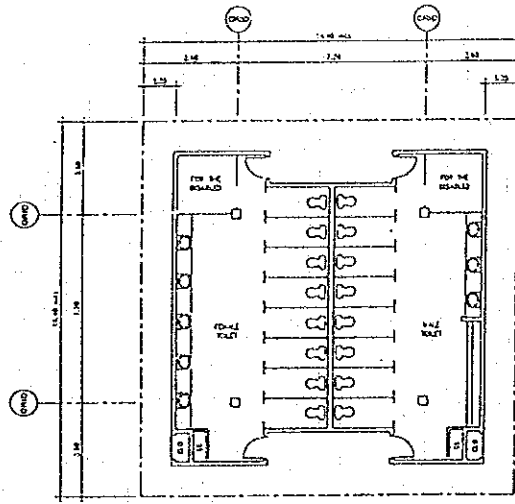
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A-3



1 PLAN - MODULE NO. 3 (DRY GOODS, CI-183)
11.00.75

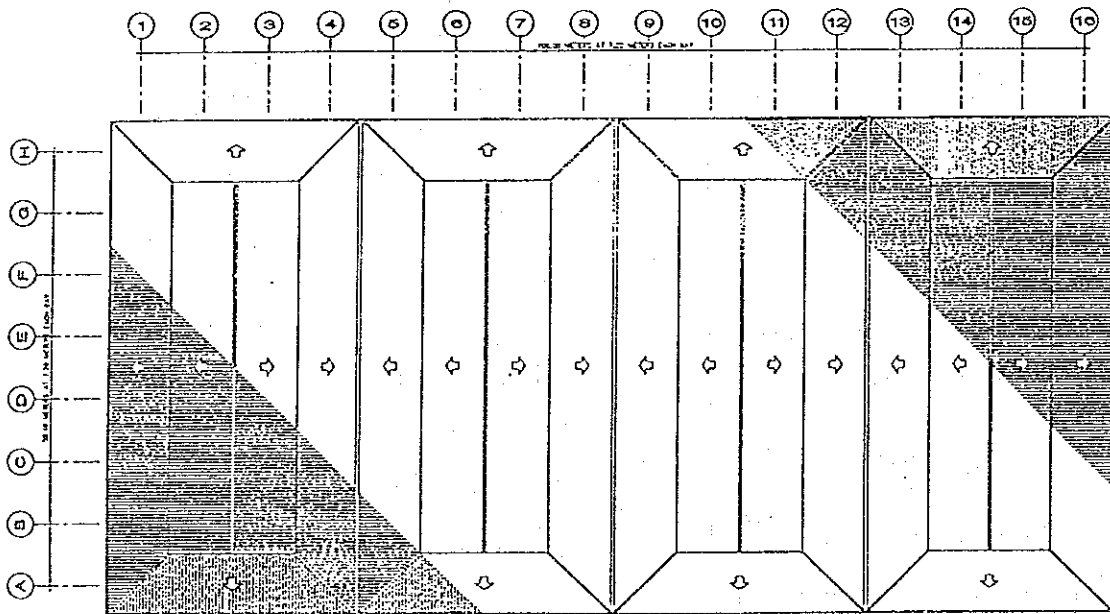


1 PLAN - MODULE NO. 4 (PUBLIC TOILET)
11.00.75

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URBAN PUBLIC MARKET

A-4

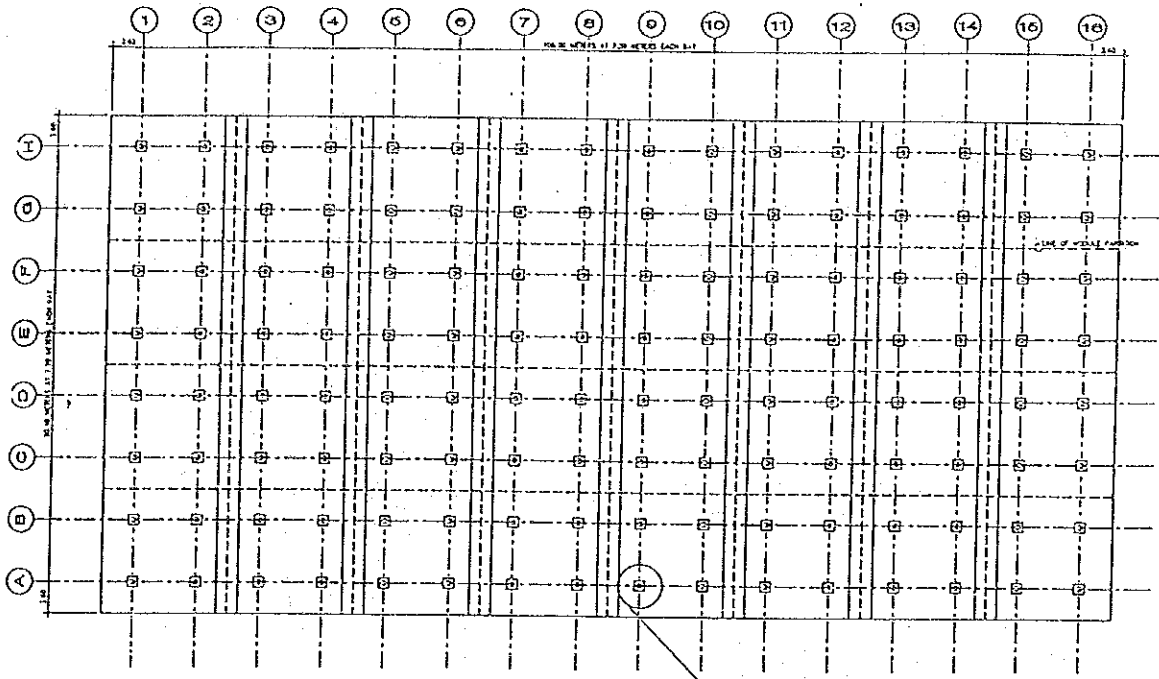


1 ROOF PLAN
11.00.75

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A-5



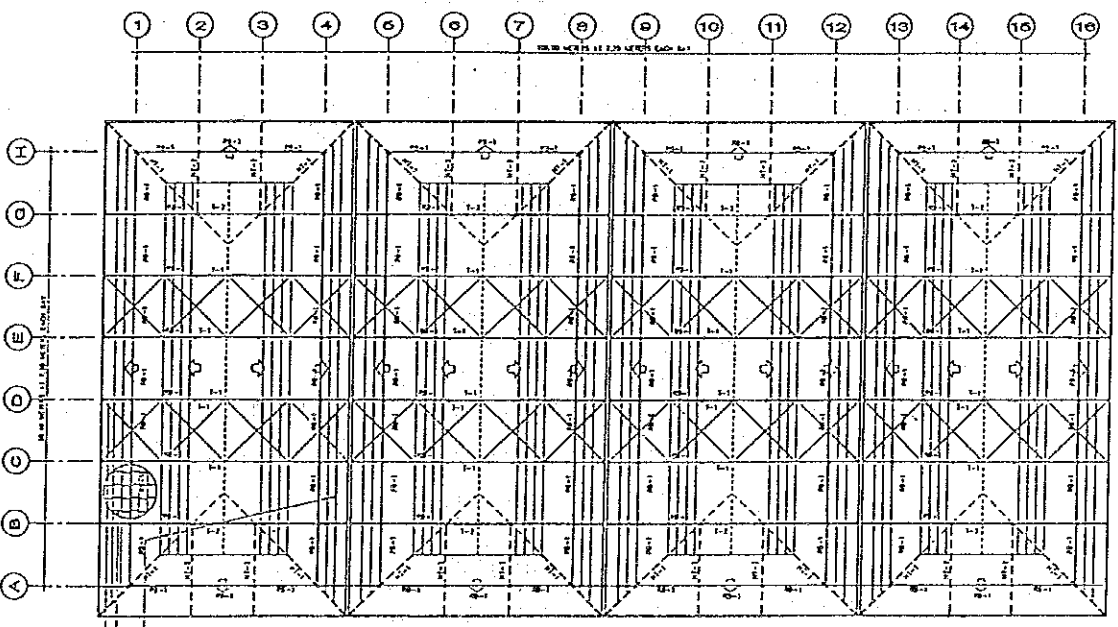
1 FOUNDATION PLAN
 S-1
 SCALE 1:25

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 NONE IN CITY OF MANILA

PROJECT
 URBAN PUBLIC MARKET

S-1



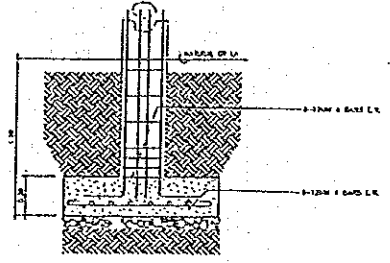
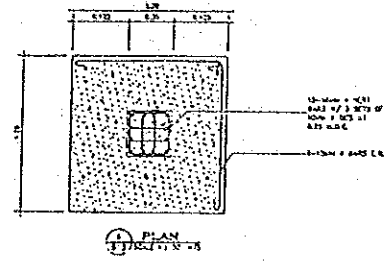
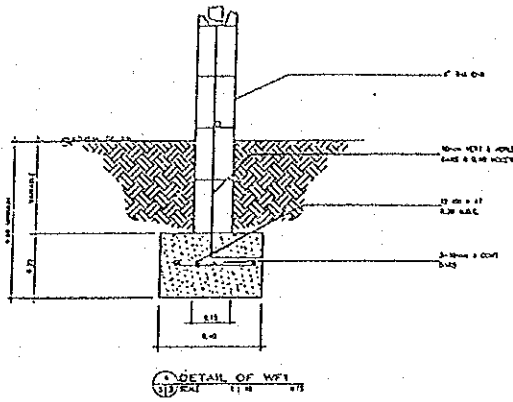
1 ROOF FRAMING PLAN
 S-2
 SCALE 1:25

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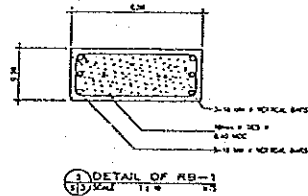
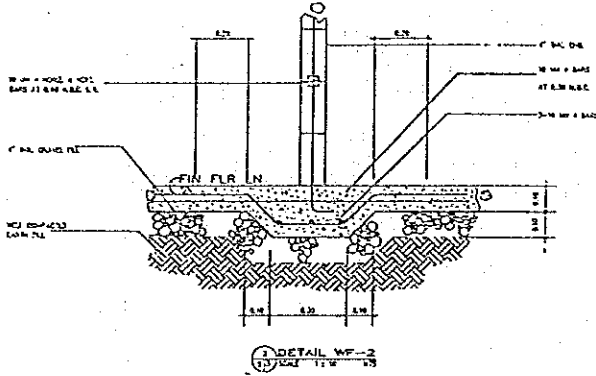
REVISIONS
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PROJECT
 URBAN PUBLIC MARKET

S-2

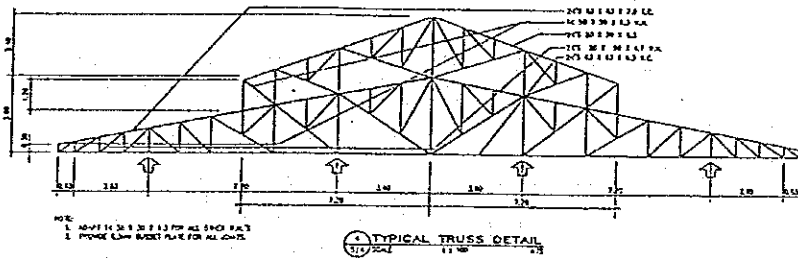


7 DETAIL OF C-1, F-1 (1/2) SCALE

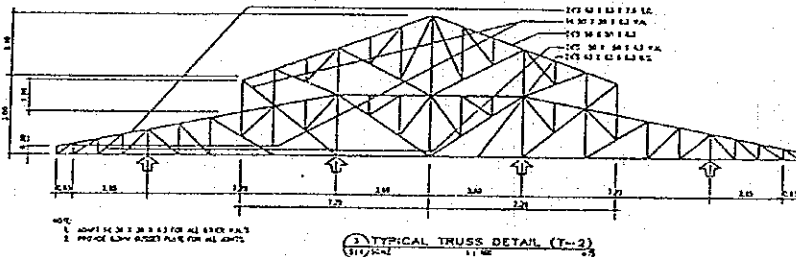


1 WALL FOOTING DETAILS (1/2) SCALE

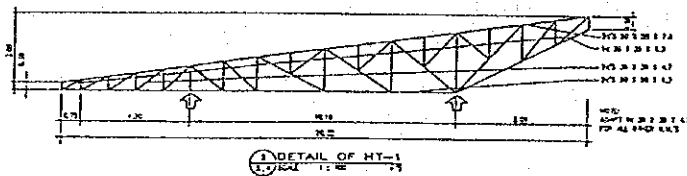
DESIGNED BY
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 S-3



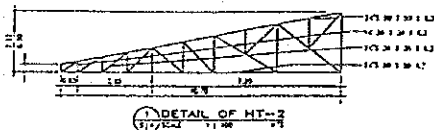
4 TYPICAL TRUSS DETAIL (1/2) SCALE



5 TYPICAL TRUSS DETAIL (T-2) (1/2) SCALE



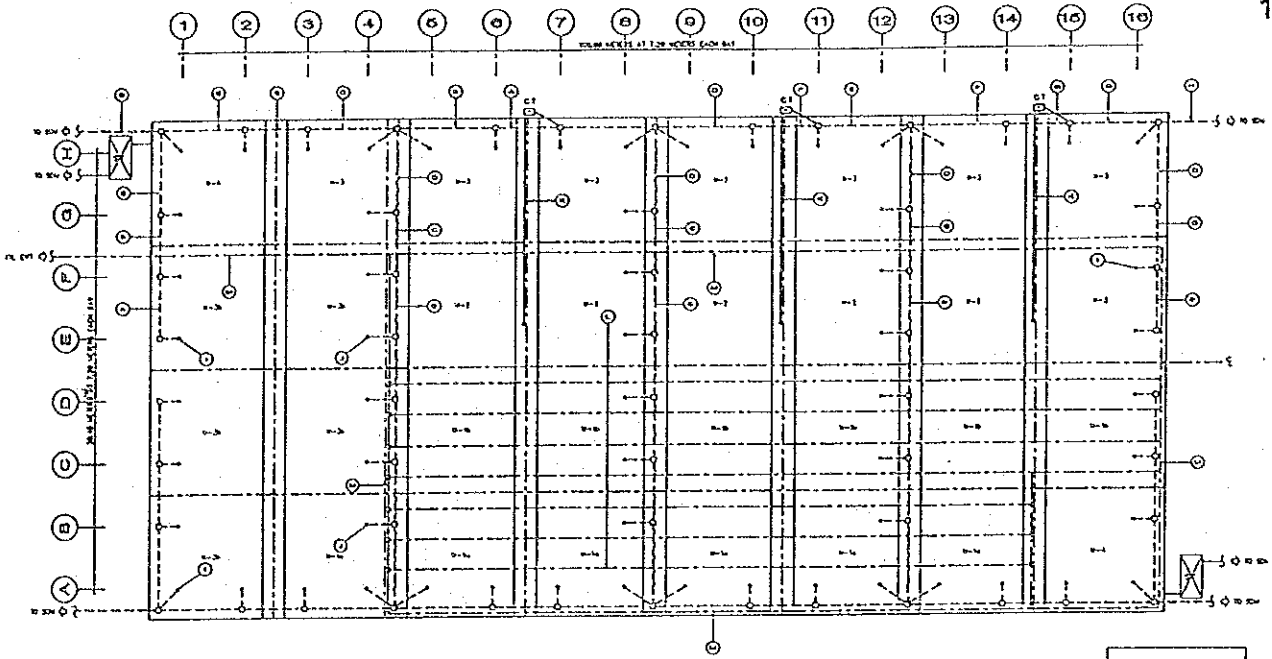
6 DETAIL OF HT-1 (1/2) SCALE



7 DETAIL OF HT-2 (1/2) SCALE

6 TYPICAL TRUSSES DETAILS (1/2) SCALE

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 URBAN PUBLIC MARKET
 S-4



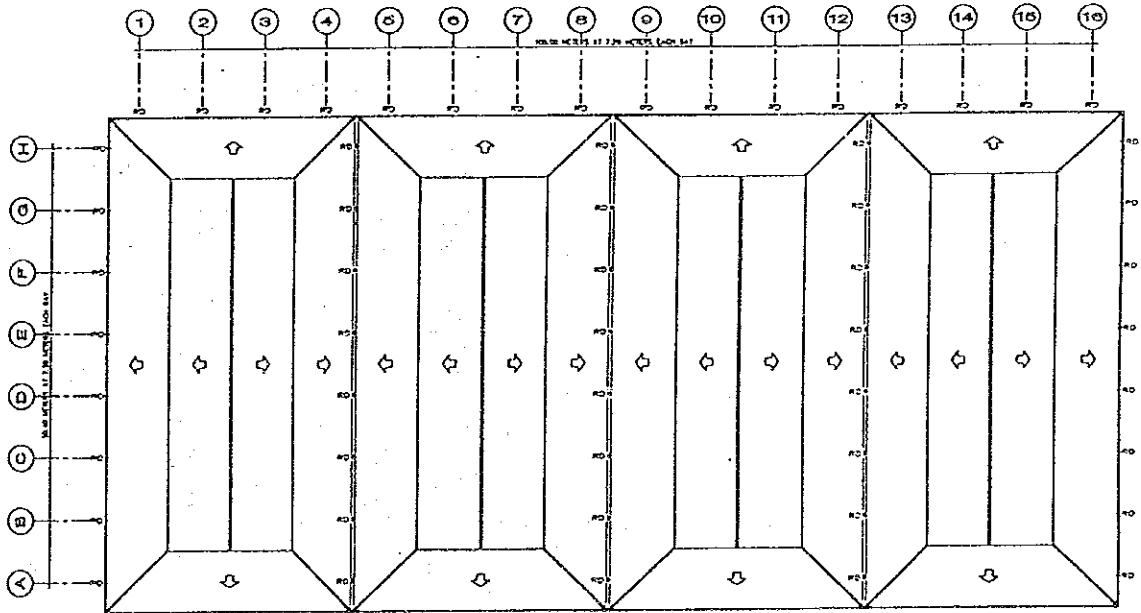
- LEGEND
- W-1 W.C. SECTION
 - W-2 W.C. SECTION
 - W-3 CANNON
 - W-4 HOT WATER
 - W-5 SINKS
 - W-6 PUBLIC TOILETS
 - W-7 SHOWERS

1 FLOOR PLAN PLUMBING LAYOUT
P-1

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A. NEPOMUCENO

PROJECT
URBAN PUBLIC MARKET

P-1

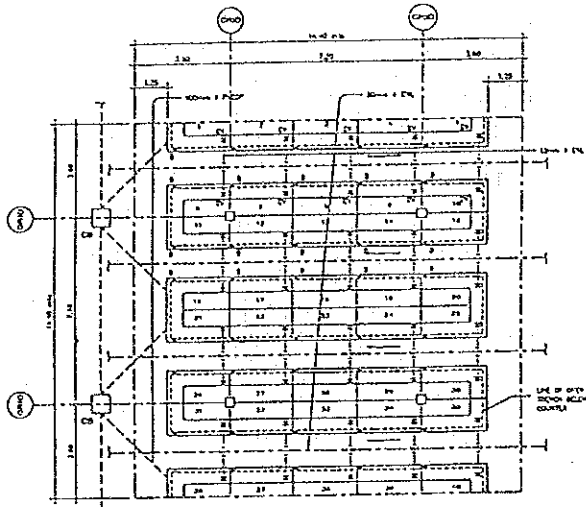


1 ROOF DRAIN LAYOUT
P-2

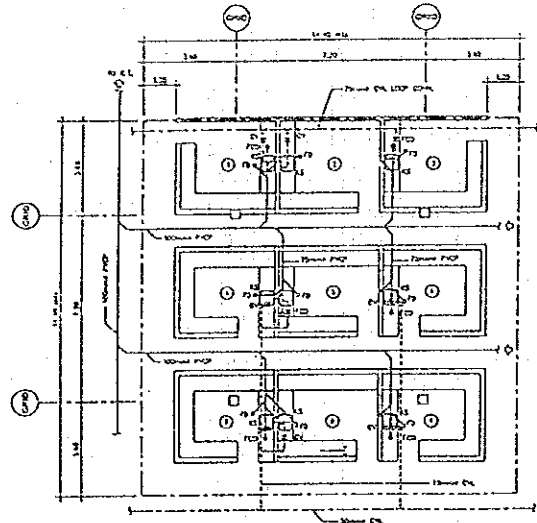
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URBAN PUBLIC MARKET

P-2



1 PLAN-MODULE NO.1 (WET, DRY, WET SECTION)
1:10 SCALE



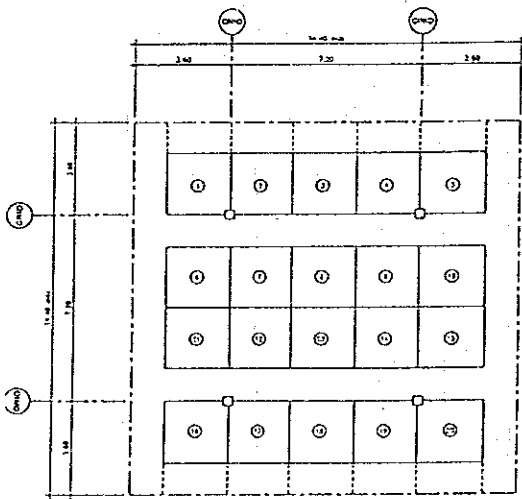
2 PLAN-MODULE NO.2 (CARPENTER SECTION)
1:10 SCALE

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A. NEPOMUCENO

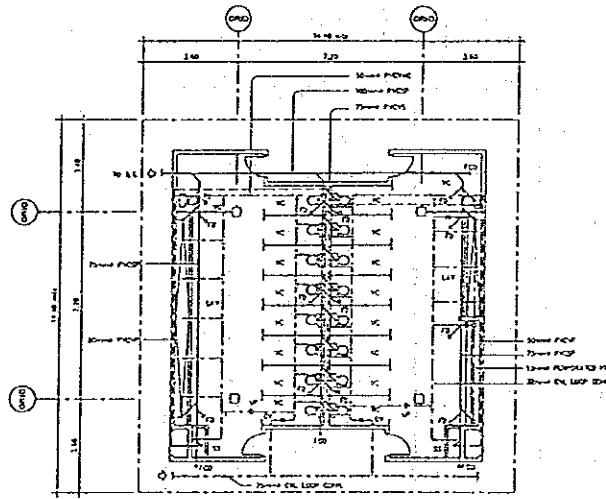
REVISIONS
DATE
BY

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URBAN PUBLIC MARKET

P-3



3 PLAN-MODULE NO.3 (DRY GOODS, DRY GOODS)
1:10 SCALE



4 PLAN-MODULE NO.4 (PUBLIC TOILET)
1:10 SCALE

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BY

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URBAN PUBLIC MARKET

P-4

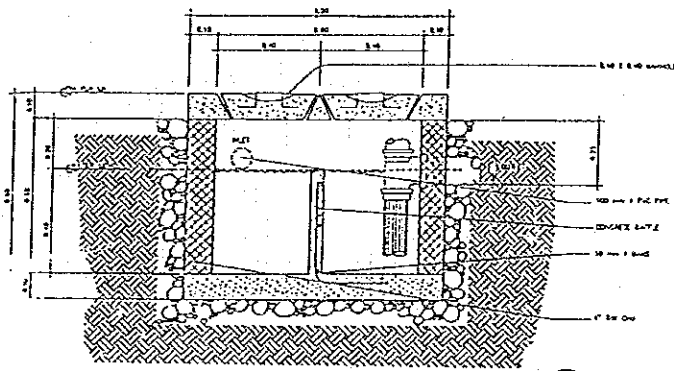
INDEX

A.	150 MM Ø CONCRETE PIPE
B.	200 MM Ø CONCRETE PIPE
C.	300 MM Ø CONCRETE PIPE
D.	300 MM Ø REINFORCED CONCRETE PIPE
E.	350 MM Ø REINFORCED CONCRETE PIPE
F.	400 MM Ø REINFORCED CONCRETE PIPE
G.	450 MM Ø REINFORCED CONCRETE PIPE
H.	500 MM Ø REINFORCED CONCRETE PIPE
I.	100 MM Ø PVC DOWNSPOUT S-1000
J.	150 MM Ø PVC DOWNSPOUT S-1000
K.	100 MM Ø PVC DRAIN PIPE S-1000
L.	50 MM Ø PVC COLD WATER LINE
M.	75 MM Ø PVC COLD WATER LINE LOOP CONNECTOR
⊕	FLOOR CLEAN OUT
○	PVC DOWNSPOUT
□	TYPICAL CATCH BASIN
ST	SEPTIC TANK
GT	GREASE TRAP
RD	ROOF DRAIN
SOM	STORM DRAINAGE MANHOLE
---	PVC DRAIN PIPE
---	STORM DRAINAGE LINE
---	COLD WATER LINE
---	ELEVATED WATER TANK

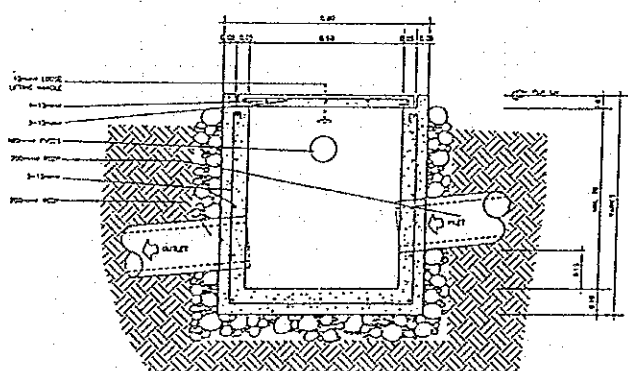
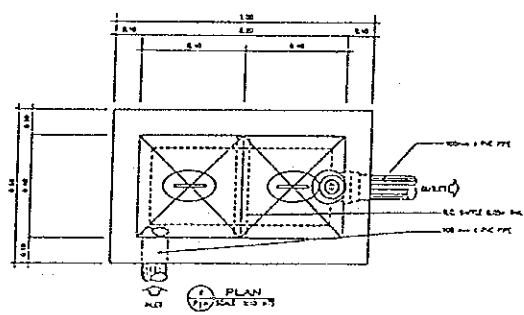
LEGEND

WC	WATER CLOSET
LAV	LAVATORY
UR	URINAL
SS	SLOP SINK
FD	FLOOR DRAIN
FCO	FLOOR CLEANOUT
GV	GATE VALVE
CB	CATCH BASIN
PVCSP	PVC SOIL PIPE
PVCVS	PVC VENT STACK
PVCVAC	PVC VENT ABOVE CEILING
PVCVP	PVC VENT PIPE
PVCDP	PVC DRAIN PIPE
CWL	COLD WATER LINE
---	SEWER LINE
---	VENT LINE
---	WATER SUPPLY LINE

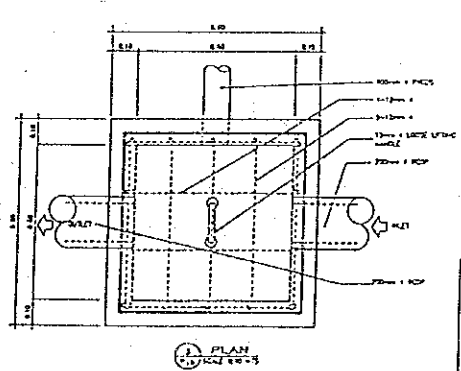
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A. NEPOMUCENO
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 PROJECT
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 (P-6)



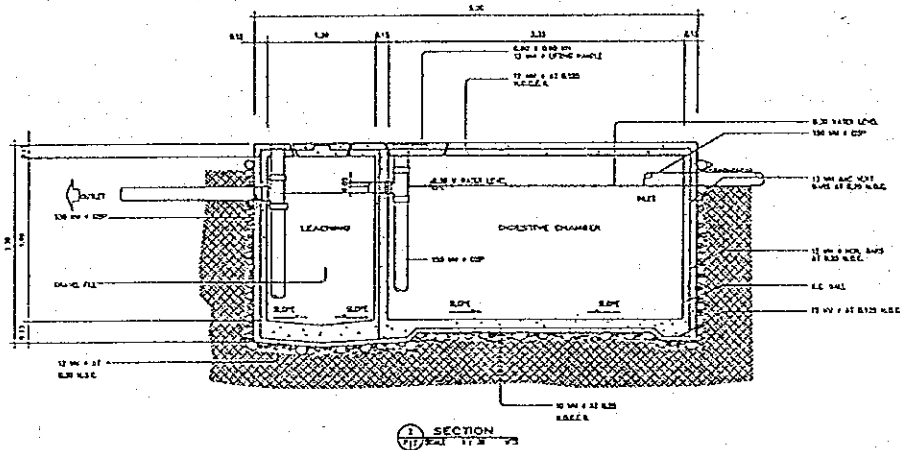
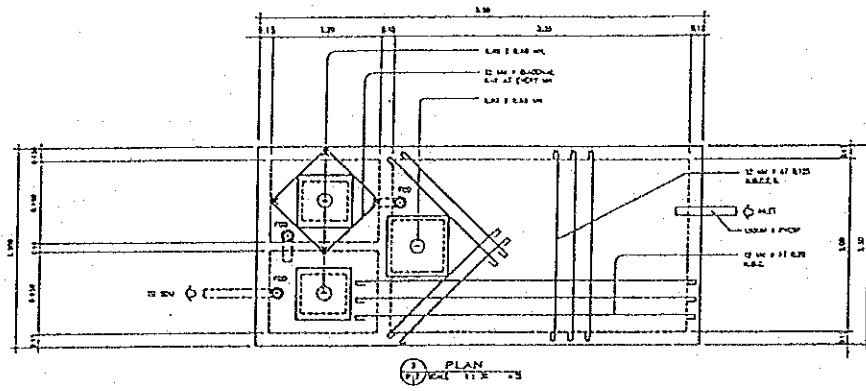
4 TYPICAL GREASE TRAP DETAIL
 P/6



1 TYPICAL CATCH BASIN DETAIL
 P/6



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A. NEPOMUCENO
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 (P-6)



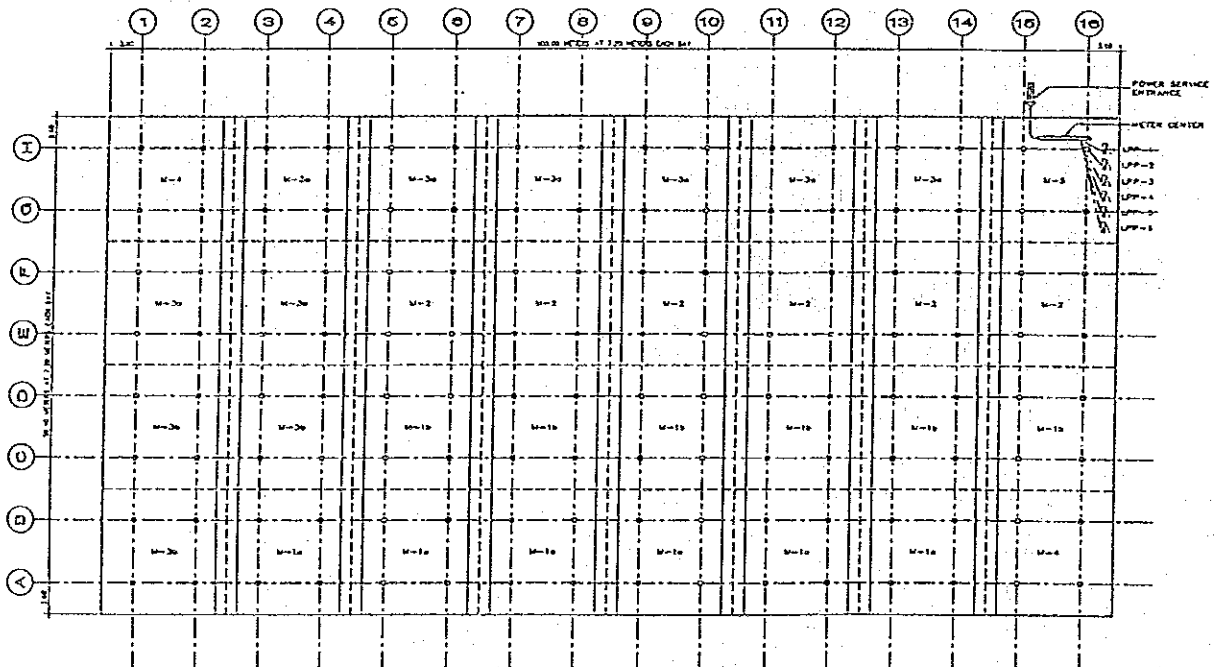
1 SEPTIC TANK DETAILS
SCALE 1:10

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ENGINEER

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(P-7)



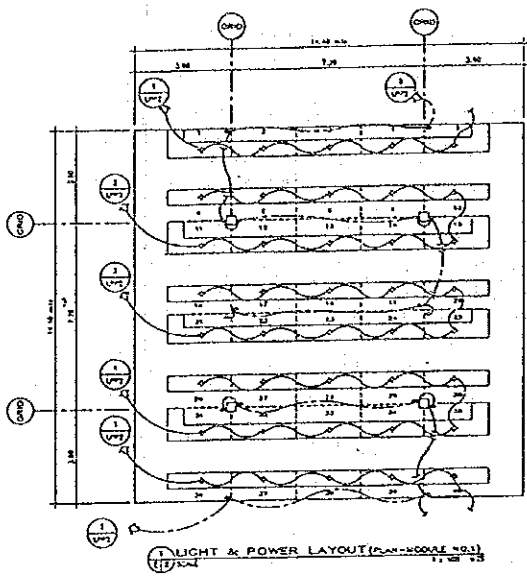
1 LIGHT AND POWER PANEL LOCATION
SCALE 1:100

DESIGNED BY
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A. REPOMUCENO

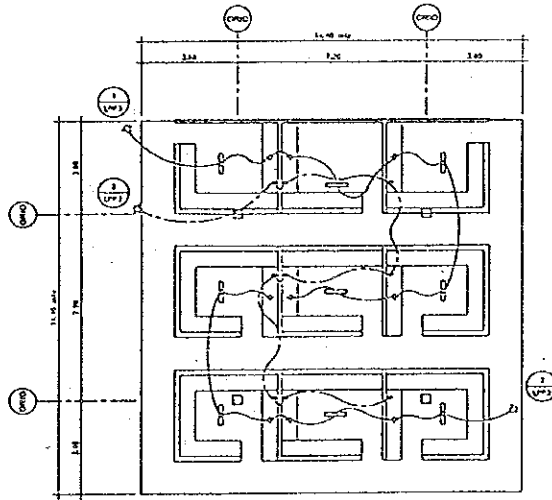
CHECKED BY
SCHEMATIC
ARCHITECT
ENGINEER

PROJECT
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(E-1)



1 LIGHT & POWER LAYOUT (PLAN-MODULE NO.1)
11.48 x 11.48

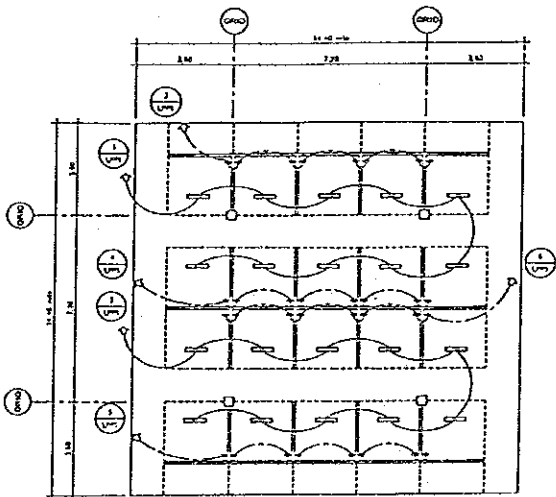


1 LIGHT & POWER LAYOUT (PLAN-MODULE NO.2)
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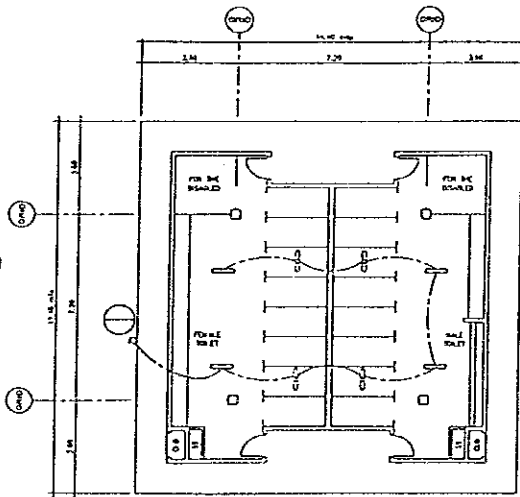
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A. NEPOMUCENO

PROJECT
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FIGURE NO.
E-2



1 LIGHT & POWER LAYOUT (PLAN-MODULE NO.3)
11.48 x 11.48



1 LIGHT & POWER LAYOUT (PLAN-MODULE NO.4)
11.48 x 11.48

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A. NEPOMUCENO

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URBAN PUBLIC MARKET

FIGURE NO.
E-3

A - 31 SOIL AND SOIL BEARING CAPACITY OF EACH SITE

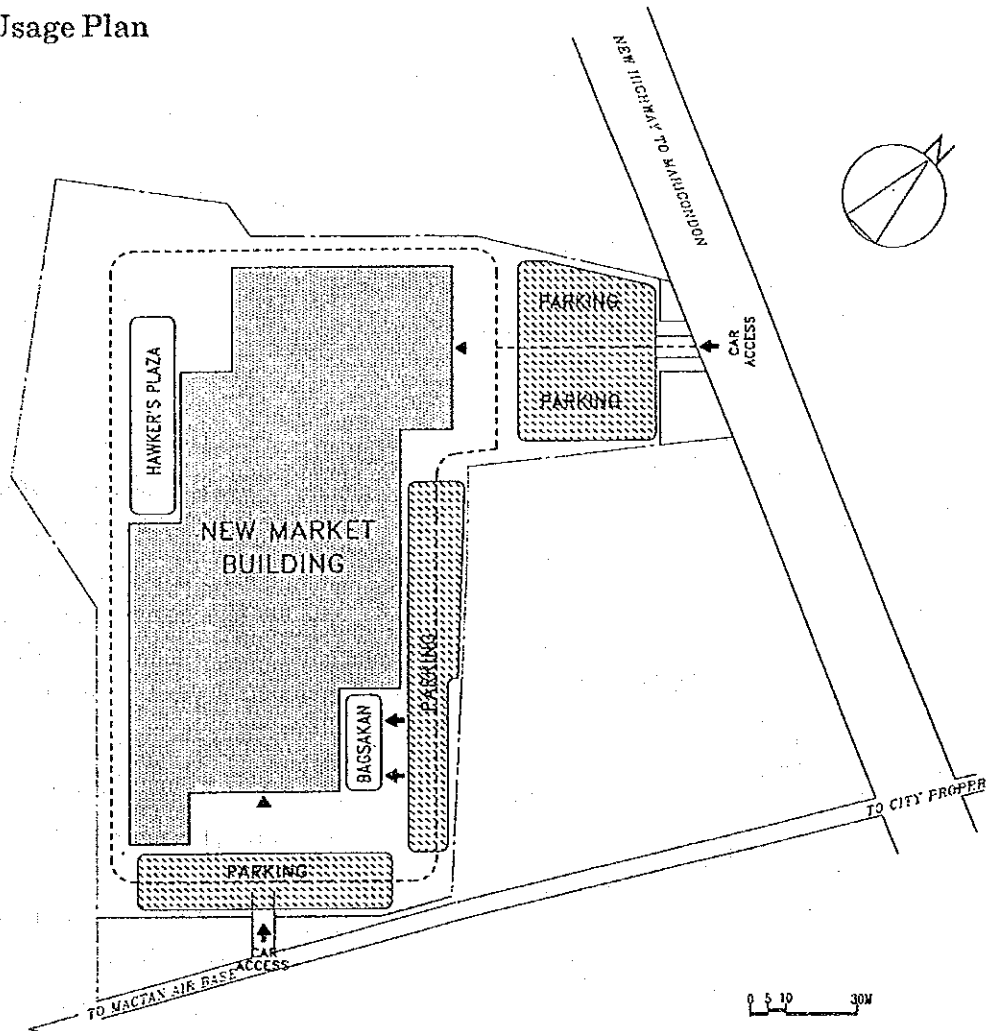
Soil and soil bearing capacity of each site

			Soil	Permissible soil bearing capacity
1.	Lapu-Lapu	Market	clayey coralline limestone	48,750 kg/sq-m
2.	Car Car	Market	grayish brown plastic clay	1,125
3.	Danao	Market	light brown plastic clay	5,688
4.	Toledo	Market	raddish brown semi plastic clay	36,000
		Slaughter house	"	40,680
5.	Oroquieta	Market	dark gray organic clayey silts	5,500
6.	Sapang Daraga	Market	raddish brown semi plastic clay	8,000
		Slaughter house	"	9,000

1. Lapu-Lapu Market (Reference Project)

※ The site was no prospect of getting budget allocation for site preparation work.

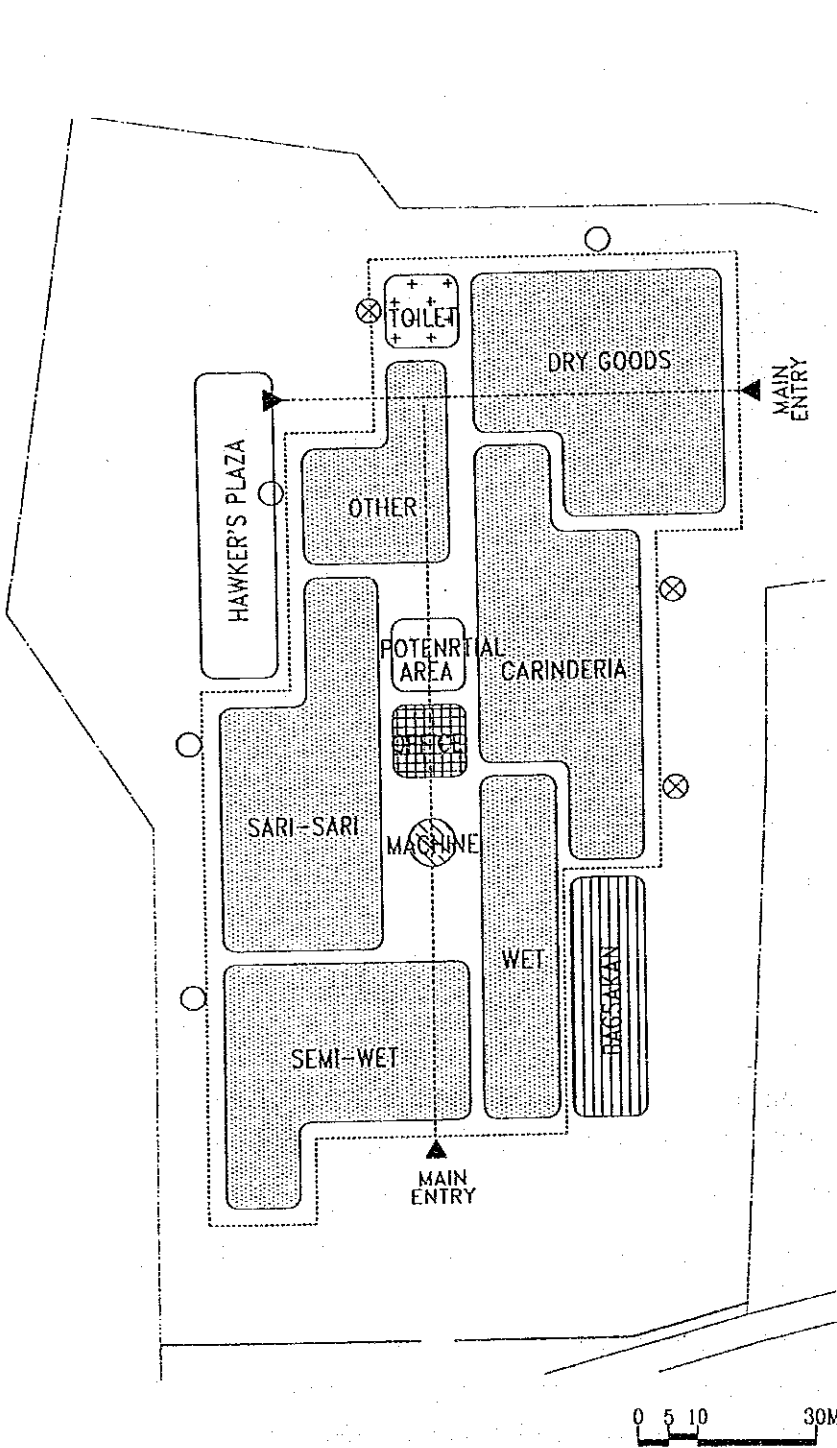
(1) Site Usage Plan



- ① The site can be approached from two directions and both sides will be used. The intersection of the path of flow of administration, customers and vehicles will be noted so not to obstruct the overall functionality of the market place.
- ② The floor level of the sales area will be set to GL + 0.5m in order to ensure an adequate drainage gradient.
The floor level of the toilet facilities will also be set to the floor level of the sales area + 1.0m (GL + 1.5m) for sewage processing and drainage. The drainage pipes will be installed to run along the site boundaries, so that there can be suitable the drainage gradient which is not obstructed by other facilities.

(2) Building Plan

1) Floor planning (Zoning plan)



- ① Clearly defined indoor path of flow and zoning
- ② Maintain the environment in the central section of the building (ventilation, lighting, hygiene, etc)
- ③ Zoning which is logical and easy to administer.
- ④ The floor level of the toilets will be set to a height of GL + 1.5m to ensure an adequate drainage gradient
- ⑤ The floor level of the administration office will be set to a height of GL + 1.5m (sales floor level + 1.0m) so that an incoming water supply tank and pump room can be installed under the office floor, and so that market can be easily observed from the office.
- ⑥ Overhead water supply tank and an incoming water supply tank will be installed in the center of the building so that a logical water supply system can be installed

2) Facilities Plan

① Electrical facilities

- The electrical Power Supply will be drawn from a 13.2kv AC line which runs along the road in front of the market, and this will be connected to the transformers.
- Base lighting fixtures will be installed within the compound and these will provide illumination over 100lx.
- Small meters will be installed in each block or for each tenant, and the individual power consumption for each user will be calculated.
- An announcement broadcast system will be installed in the building.
- Emergency alarm systems will be installed in each block.
- A lightning rod will be installed on top of the overhead water supply tank.

② Water supply facilities

City water will be supplied from the road running in front of the market. Water will be supplied to necessary locations by a gravity feed system after passing through a 100m² inlet tank and a 20m³ over head water tank

③ Waste water facilities (refer to 5-3-1 Module Definitions)

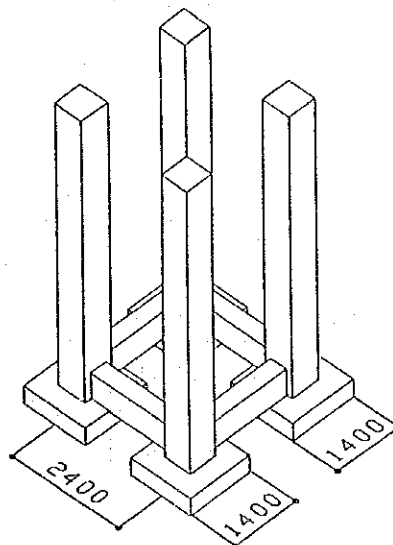
Sewage will be processed in decomposition tanks as shown in the "Modular Approach", and the waste water will then be discharged into the public sewage system running along the road in front of the market.

3) Cross section, structural and building materials plan

① Configuration of the Foundations.

Each column will be supported by an independent foundation, and sub-beams will only be used to connect the short span (2.4m).

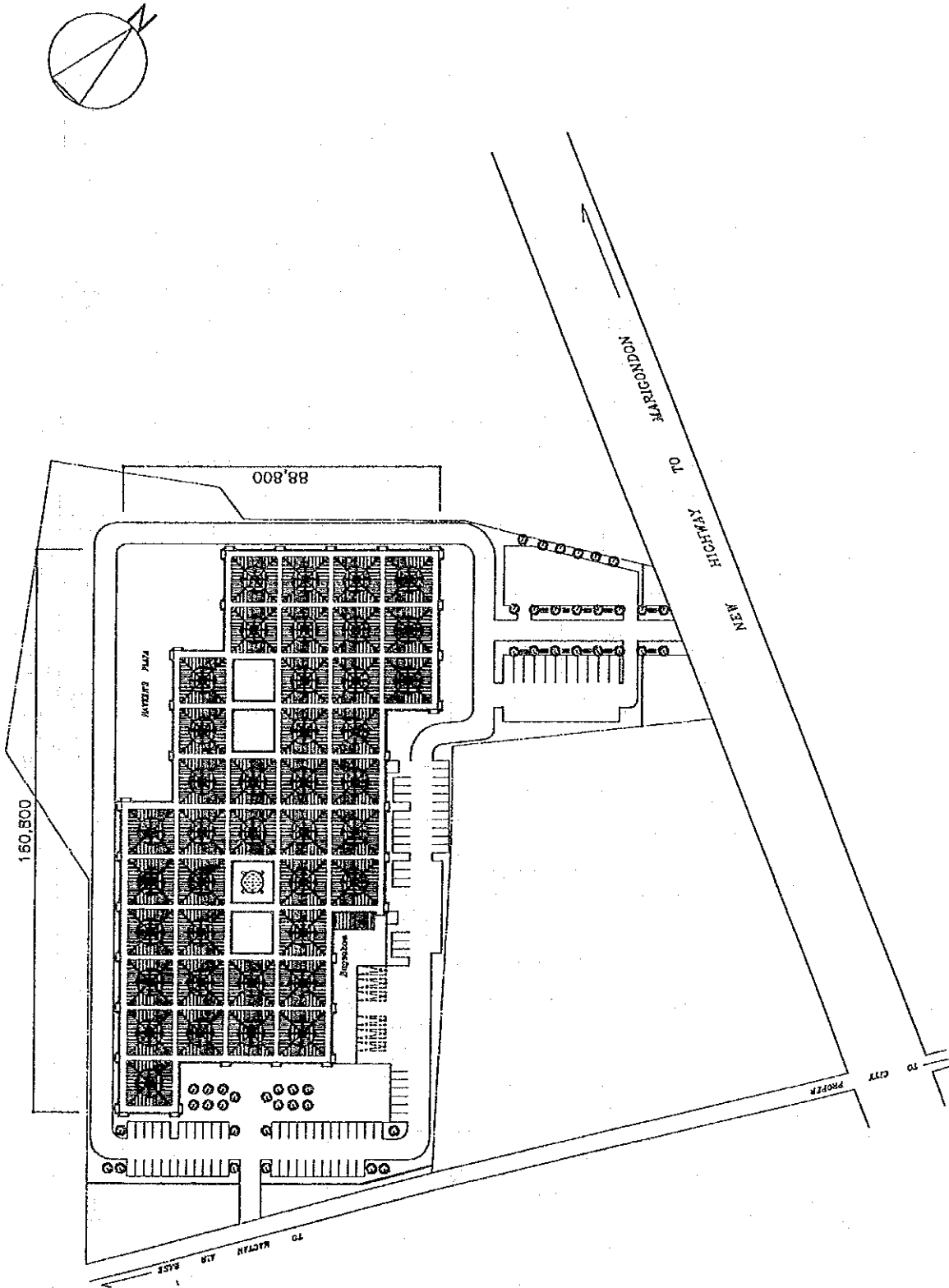
② An independent foundation is made by joining the four short span columns.



4) Floor area table

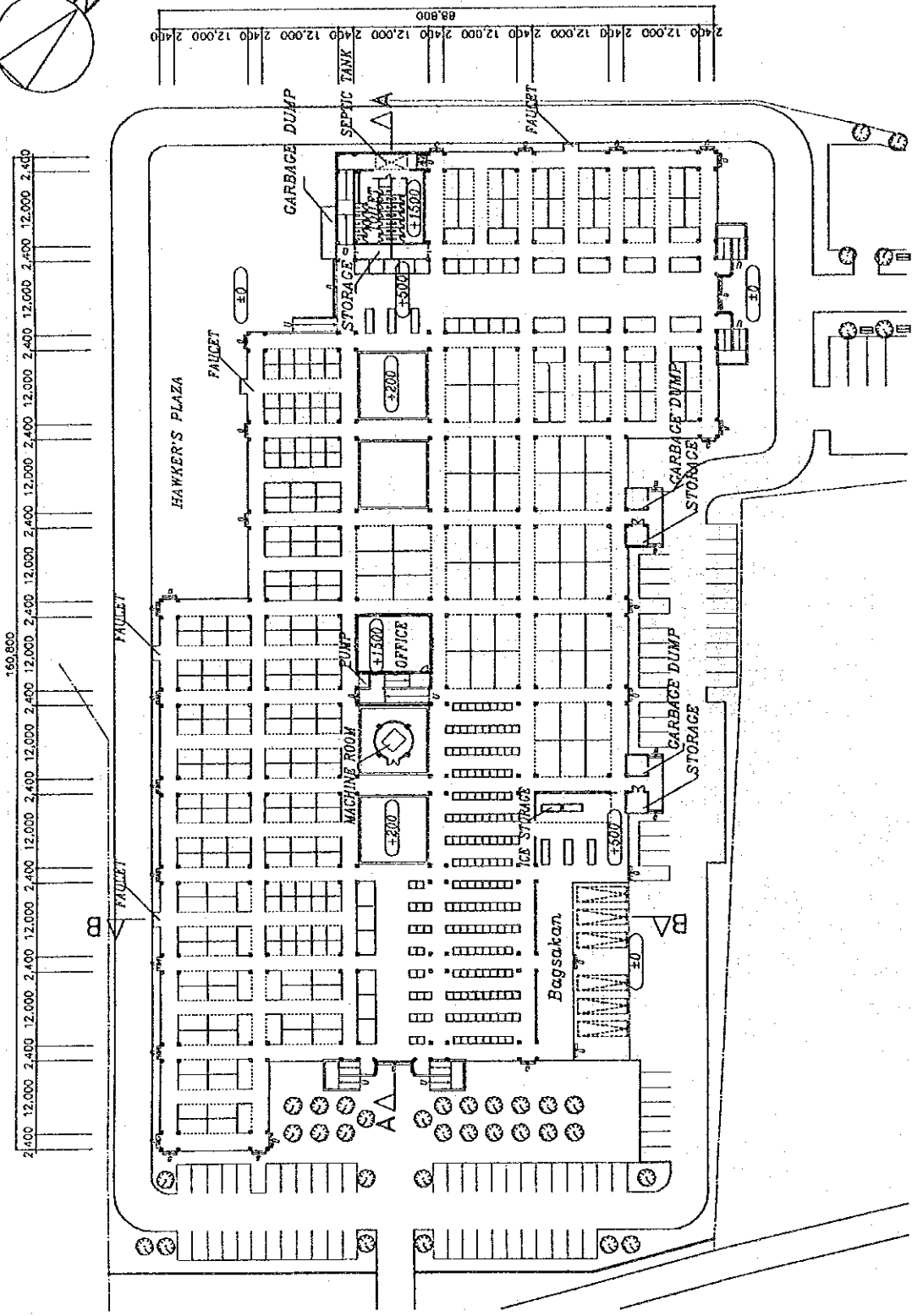
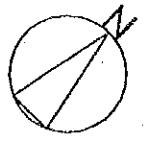
Name : Lapu-Lapu Market
 Building Location : Lapu-Lapu City
 Site Area : 25,815.70m²
 Building Area : 9,558.29m²

		Sales Counter	Planned floor area (m ²)	Basis for Estimation				
				Unit to be utilized	Estimated No. of stores	Planned No. of stores	Comments	
Indoor Section	Sales Section	WET Section	Fish	253.44	1.2m×2.4m 2.88m ²	90	88	as for the Modular Approach
			Meat	109.44	1.2m×2.4m 2.88m ²	42	38	"
		SEMI-WET Section	Cereals	529.92	2.4m×4.8m 11.52m ²	50	46	"
			Vegetables/ Fruits	115.20	2.4m×2.4m 5.76m ²	24	20	"
			Dried fish	109.44	1.2m×2.4m 2.88m ²	30	38	"
		GEN-MERCH Section	Clothing Footwear	668.16	2.4m×4.8m 11.52m ²	59	58	"
			Groceries, Food stuffs, daily goods	864.00	2.4m×4.0m 9.6m ²	104	90	"
		Cafeteria	1,152.00	4.0m×6.0m 24.0m ²	46	48	"	
		Other	259.20	2.4m×2.4m 5.76m ²	55	45	"	
		Total	4,060.80		500	471		
Administrative and Common Areas	Administration Office	114.00	10m ² per Person	Staff 10×10m ² =100m ²				
	Potential Area	144.00	0.30m ² /store	0.3×471store=141.3m ²				
	Ice house Area	57.60						
	Toilets	144.00	Standard unit 12m×12m	Because of limitation drain grade 1 location 1 unit				
	Equipment machinery room	10.00		Pump 1.5m×0.7m×2 + Inspection corridor 0.6m				
	Storage	28.80	0.13m ² /store	0.13×471store=61.23m ² (+ Outdoor 54.72m ²)				
	Corridors	4,999.09	Corridor width 2.4m	so that carts can pass by each other				
Building Area TOTAL		9,558.29						
Ancillary Facilities	Unloading dock, Auction area	495.36	Sales counter area 10%	Modular approach estimate area 7709m ² /10=770.9m ²				
	Equipment machinery Room	38.47		Transformers 3m×5m + Inspection corridor 1.2m				
	Rubbish collection Area	37.17	0.064m ² /store	0.064×471store=30.14m ²				
	Storage	25.92	0.13m ² /store	0.13×471store=61.23m ² (+ Indoor 54.72m ²)				
	Water outlet	11.52	1location/10units	43units/10=4.3 4 locations(1 location 2.88m ²)				
	Corridors (Stairs, slope etc.)	218.08						
	TOTAL	826.52						
Slaughter House		—						



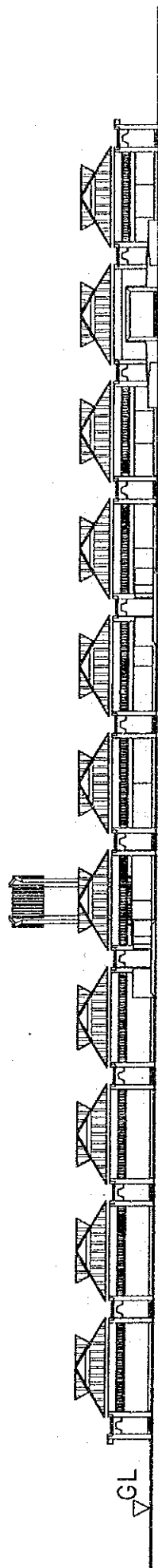
LAPU-LAPU MARKET Site plan

(Reference Project)

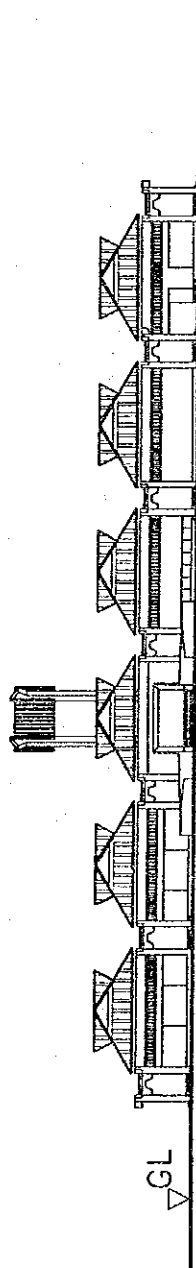


0 5 10 30m

LAPU-LAPU MARKET Ground Floor Plan
(Reference Project)



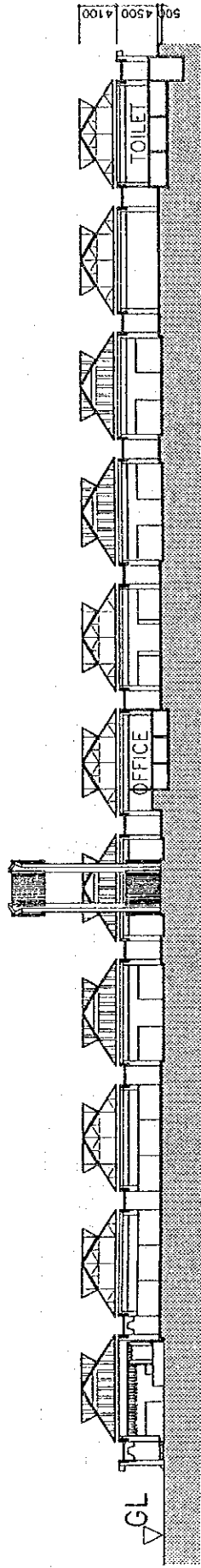
North elevation



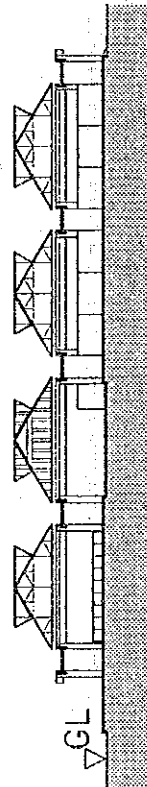
East elevation



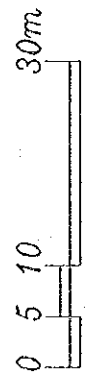
LAPU-LAPU MARKET
(Reference Project) Elevation



A-A section

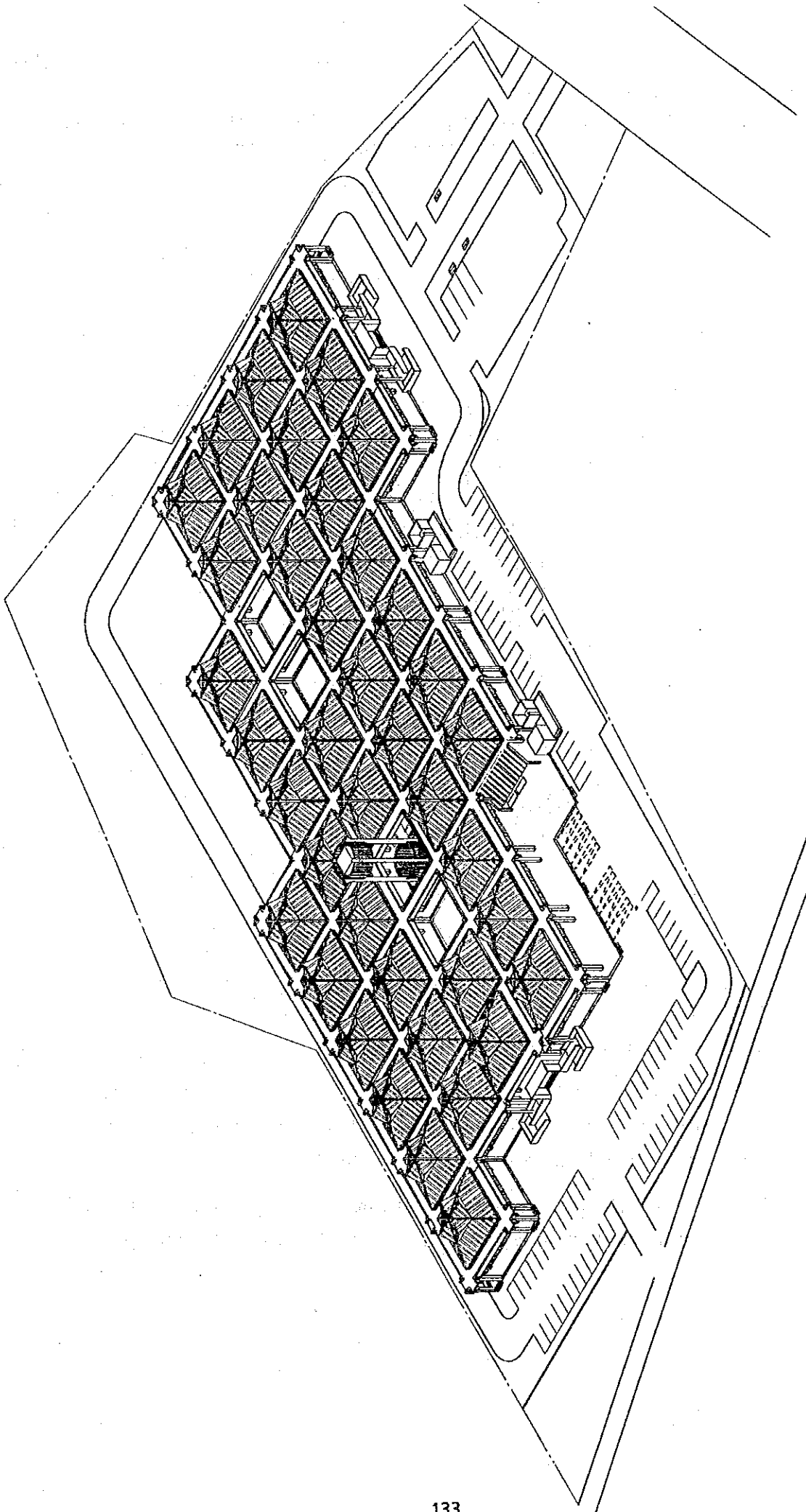


B-B section



LAPU-LAPU MARKET
(Reference Project)

Section

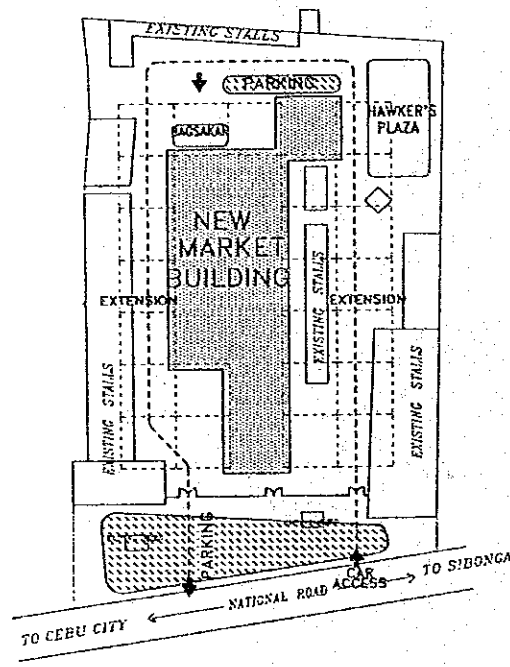
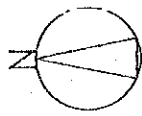


LAPU – LAPU MARKET Isometric View
(Reference Project)

2. Car-Car Market (Reference Project)

- ※ The site was unstable as a construction site as the soil was soft and unstable, so supplementary survey's and confirmation will be required.

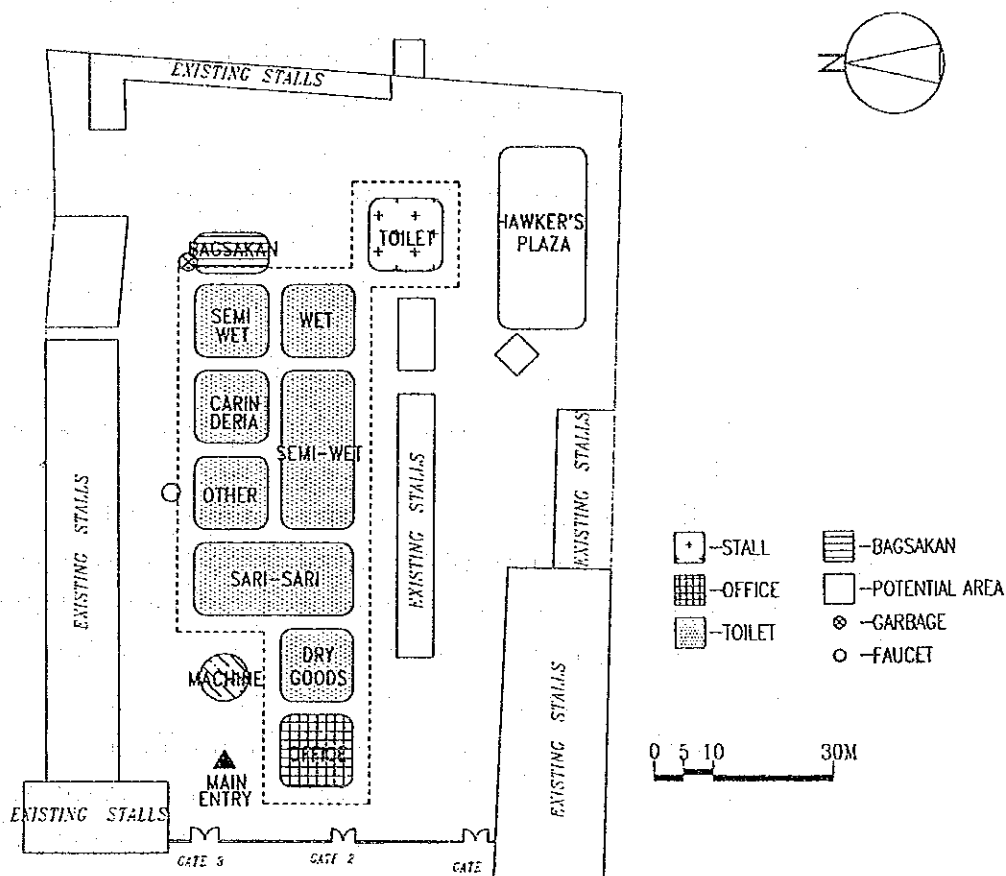
(1) Site Usage



- ① The existing facilities, not included in the project, are considerably dilapidated, so the building will be located as so not to obstruct the future restoration of the existing facilities.
- ② As existing stores will remain the drainage of the entire site can not be adequately improved, so toilets, which in particular require sewage treatment, will be located as close as possible to drainage piping.
- ③ The floor level of the new building will be set to GL + 0.5m. This will allow an adequate drainage gradient and will also avoid flooding.

(2) Building Plan

1) Floor planning (Zoning plan)



- ① Clearly defined indoor path of flow and zoning
- ② Maintain the environment in the central section of the building (ventilation, light-ing, hygiene, etc)
- ③ Zoning which is logical and easy to administer.
- ④ The floor level of the toilets will be set to a height of $GL + 1.5m$ to ensure an adequate drainage gradient
- ⑤ The floor level of the administration office will be set to a height of $GL + 1.5m$ (sales floor level + $1.0m$) so that an incoming water supply tank and pump room can be installed under the office floor, and so that market can be easily observed from the office.
- ⑥ Overhead water supply tank and an incoming water supply tank will be installed in the center of the building so that a logical water supply system can be installed

2) Facilities Plan

① Electrical facilities

- The electrical Power Supply will be drawn from a 13.2kv AC line which runs along the road in front of the market, and this will be connected to the transformers.
- Base lighting fixtures will be installed within the compound and these will provide illumination over 100lx.
- Small meters will be installed in each block or for each tenant, and the individual power consumption for each user will be calculated.
- An announcement broadcast system will be installed in the building.
- Emergency alarm systems will be installed in each block.
- A lightning rod will be installed on top of the overhead water supply tank.

② City water will be supplied from the road running in front of the market. Water will be supplied to necessary location by a gravity fed system after passing through a 50m³ inlet tank and a 10m³ overhead tank. Furthermore, there is a discussed well in front of the site and it is planned to use this to draw the water supply from as well.

③ Waste water facilities (refer to 5-3-1 Module Definitions)

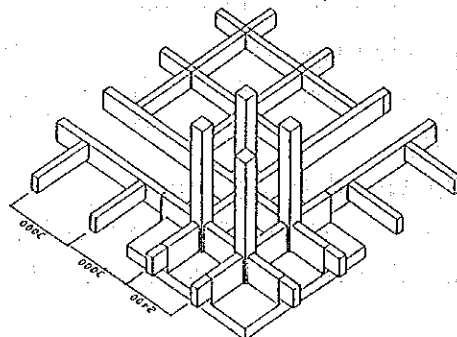
Sewage will be processed in decomposition tanks as shown in the "Modular Approach", and the waste water will then be discharged into the public sewage system running along the road in front of the market.

3) Cross section, structural and building materials plan

① Copy from Lapu-Lapu

② As the ground is soft and weak, ground improvements will be carried out using cement on the bottom part of the independent foundation and the soil under the floor, and a strong floor will be constructed with beams.

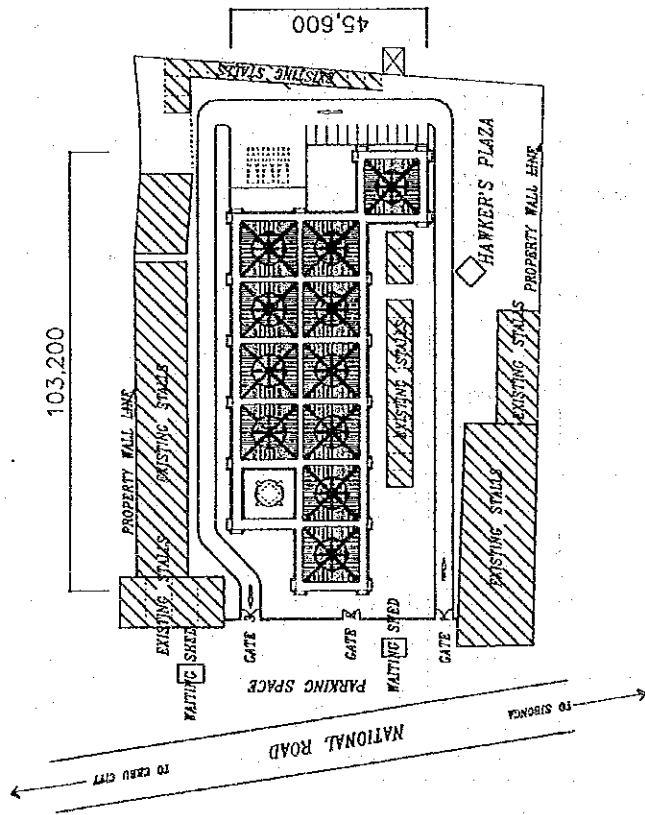
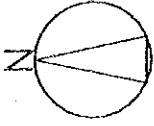
4) Floor area table



4) Floor area table

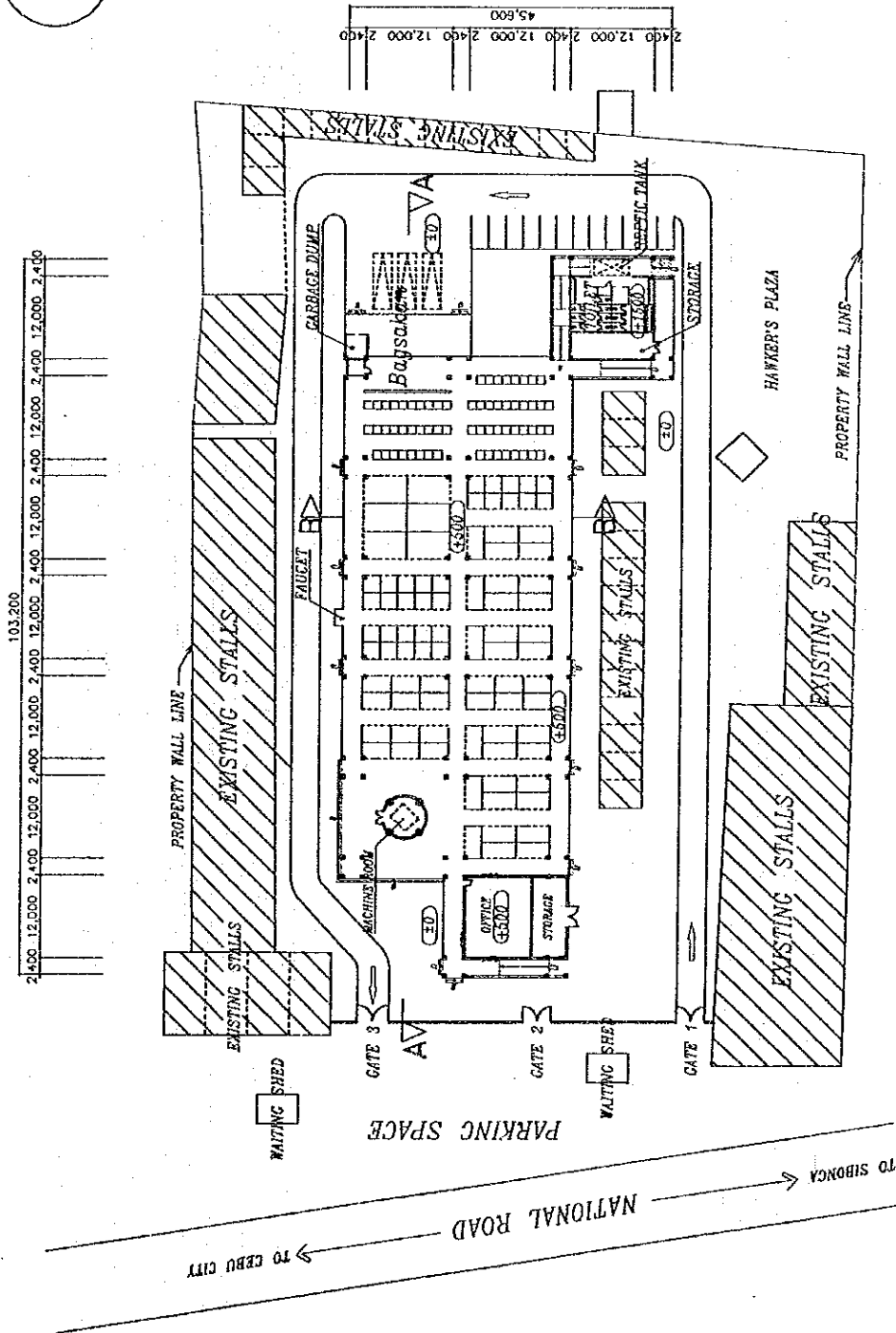
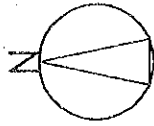
Name : CarCar Market
 Building Location : CarCar Town
 Site Area : 14,311.41m²
 Building Area : 2,997.01m²

	Sales Counter	Planned floor area (m ²)	Basis for Estimation				
			Unit to be utilized	Estimated No. of stores	Planned No. of stores	Comments	
Indoor Section	WET Section	Fish	97.92	1.2m×2.4m 2.88m ²	30	34	as for the Modular Approach
		Meat	34.56	1.2m×2.4m 2.88m ²	9	12	"
	SEMI-WET Section	Cereals	172.80	2.4m×4.8m 11.52m ²	19	15	"
		Vegetables/ Fruits	57.60	2.4m×2.4m 5.76m ²	10	10	"
		Dried fish	51.84	1.2m×2.4m 2.88m ²	10	18	"
	GEN-MERCH Section	Clothing Footwear	172.80	2.4m×4.8m 11.52m ²	16	15	"
		Groceries, Food stuffs, daily goods	172.80	2.4m×4.0m 9.6m ²	23	18	"
	Cafeteria	144.00	4.0m×6.0m 24.0m ²	5	6	"	
	Other	115.20	2.4m×2.4m 5.76m ²	26	20	"	
	Total	1,019.52			148	148	
Administrative and Common Areas	Administration Office	114.00	10m ² /Person			Staff 10×10m ² =100m ²	
	Potential Area	-	0.30m ² /store			0.3×471 stores=141.3m ²	
	Ice house Area	57.60					
	Toilets	100.48	Standard unit 12m×12m			Same size as existing facility	
	Equipment machinery room	30.00				Transformers 3m×4m + Inspection corridor 1.2m	
	Storage	43.52	0.13m ² /store			0.13×158 stores=20.54m ² Same unit for Toilet	
	Corridors	1,631.89	Corridor Width 2.4m			so that carts can pass by each other	
Building Area TOTAL		2,997.01					
Ancillary Facilities	Unloading dock, Auction area	244.08	Sales Counter Area 10%			Modular approach estimate area 1,885m ² /10 = 188.5m ²	
	Equipment machinery Room	28.26				Pump 1.5m×0.7m×2 + Inspection corridor 0.6m	
	Rubbish collection Area	12.96	0.064m ² /store			0.064×148 stores=9.47m ²	
	Storage	-	0.13m ² /store			-	
	Water outlet	2.88	1 location/10 units			13 units/10 = 1.3 1 location (2.88m ²)	
	Corridors (Stairs, slope etc.)	119.45					
TOTAL		407.63					
Slaughter House		285.61 m ²	As per the slaughter house guide lines				

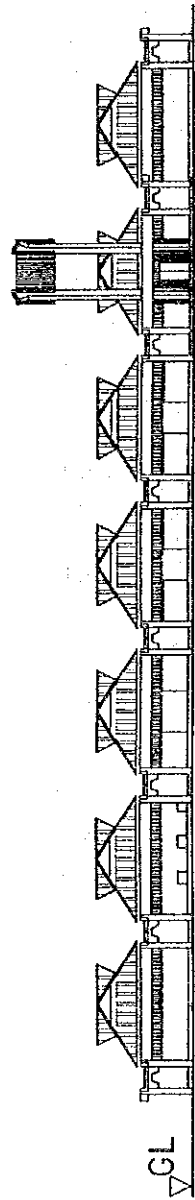


Site plan

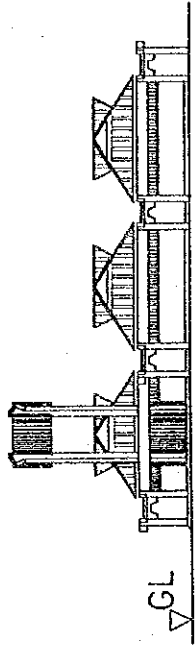
CAR CAR MARKET
 (Reference Project)



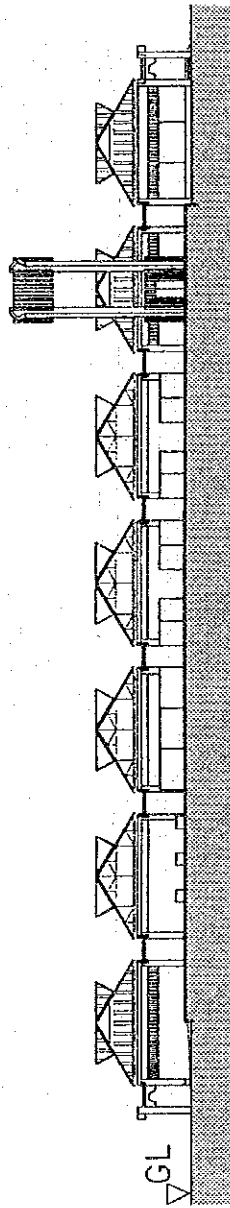
CAR CAR MARKET Ground Floor Plan
 (Reference Project)



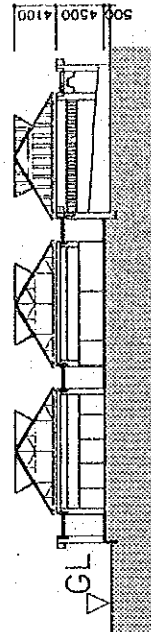
North elevation



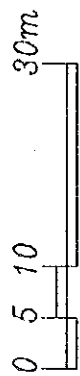
West elevation



A-A section

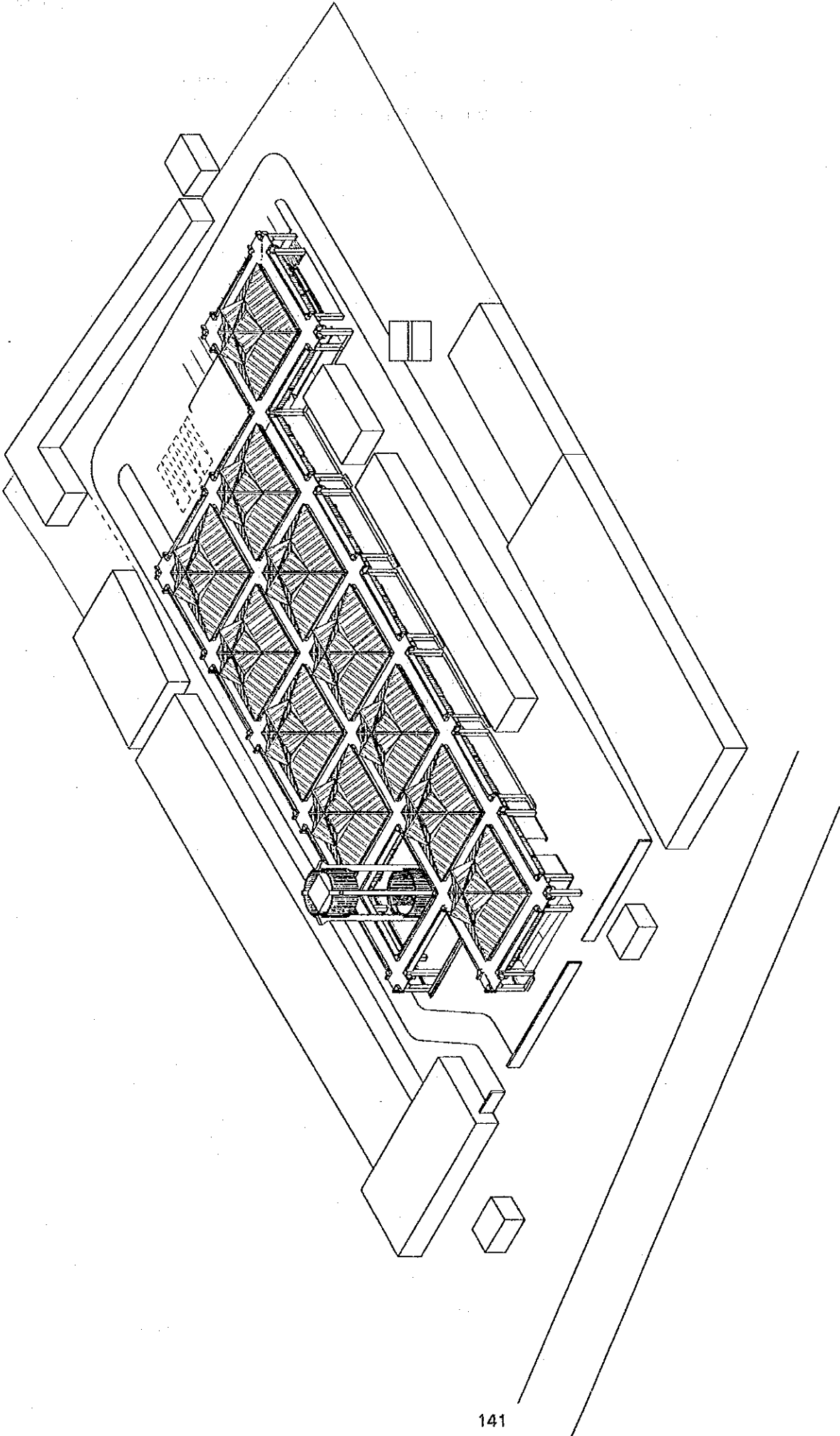


B-B section



CAR CAR MARKET
(Reference Project)

Elevation Section



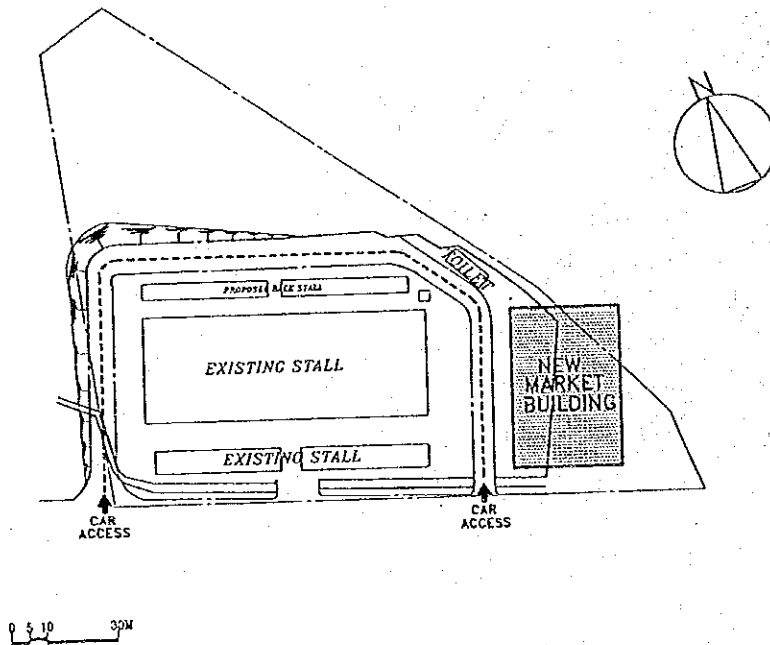
Isometric View

CAR CAR MARKET
(Reference Project)

3. Toledo Market (Reference Project)

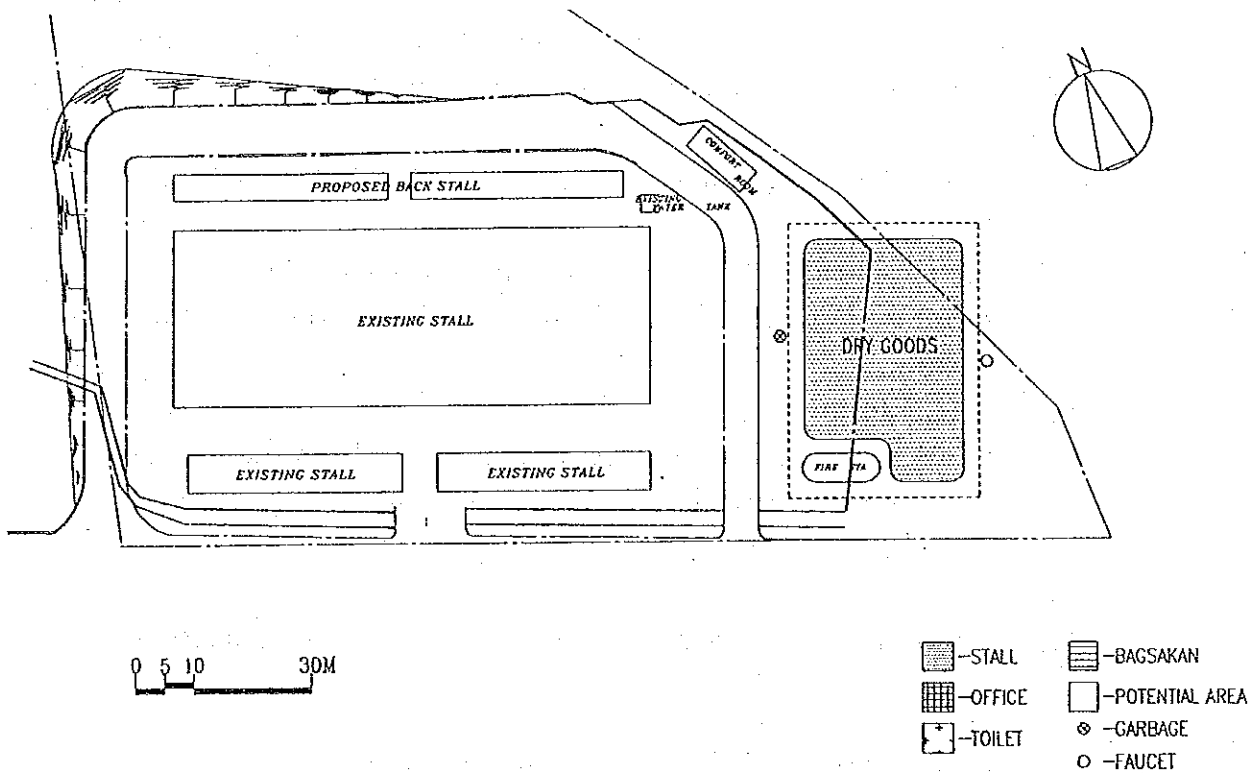
※ The site boundaries and the topography of the site have not been confirmed, so supplementary survey's and confirmation will be required.

(1) Site Usage Plan



(2) Building Plan

1) Floor planning (Zoning plan)



※ The site boundaries and the topography of the site have not been confirmed, so supplementary survey's and confirmation will be required.

2) Facilities Plan

① Electrical facilities

- The electrical Power Supply will be drawn from a 13.2kv AC line which runs along the road in front of the market, and this will be connected to the transformers.
- Base lighting fixtures will be installed within the compound and these will provide illumination over 100lx.
- Small meters will be installed in each block or for each tenant, and the individual power consumption for each user will be calculated.
- An announcement broadcast system will be installed in the building.
- Emergency alarm systems will be installed in each block.
- A lightning rod will be installed on top of the overhead water supply tank.

② Water supply facilities

The city water supply will not be used very much as the market deals with clothes, and water for cleaning, etc. can be supplied from water supply outlets within the site.

③ Waste water facilities

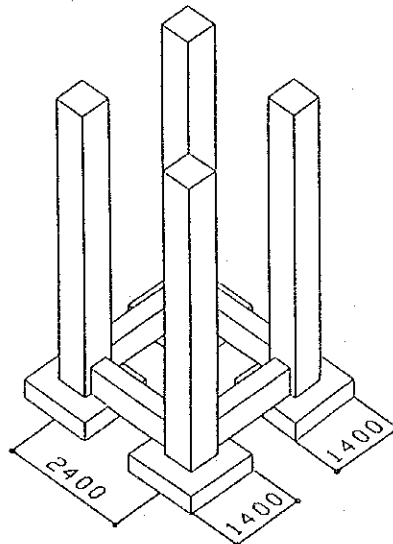
Sewage and waste water will not be produced, so no special facilities are planned to be installed.

3) Cross section, structural and building materials plan

① Configuration of the Foundations.

Each column will be supported by an independent foundation, and sub-beams will only be used to connect the short span (2.4m).

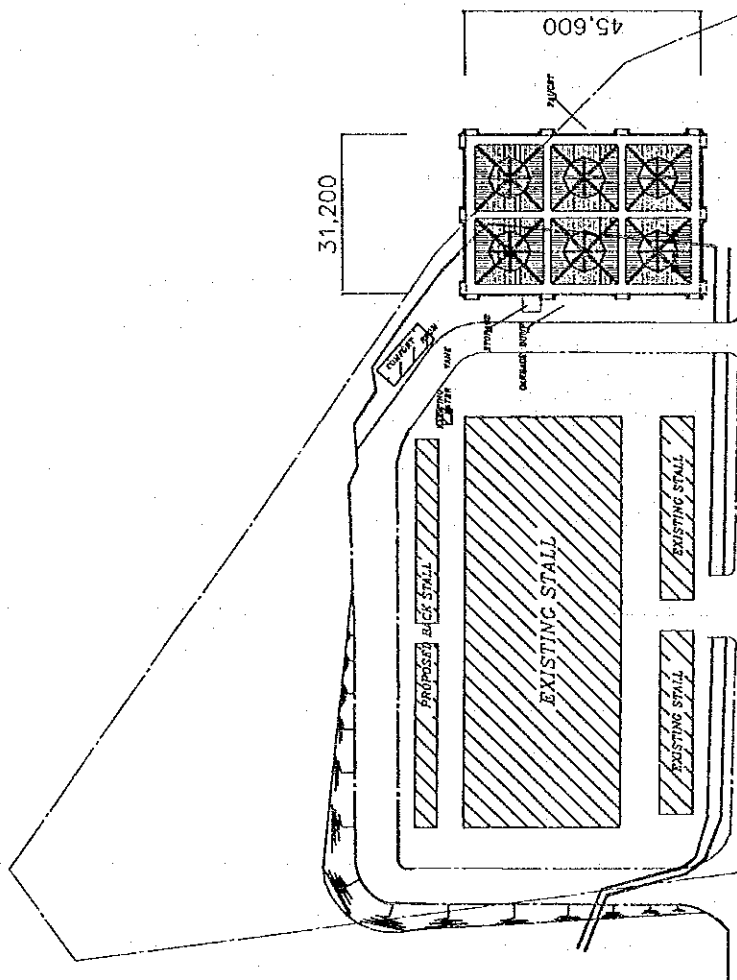
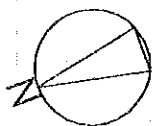
② An independent foundation is made by joining the four short span columns.



4) Floor area table

Name : Don Andres Soriano Market
 Building Location : Toledo City
 Site Area : 15,056.00m²
 Building Area : 1,504.46m²

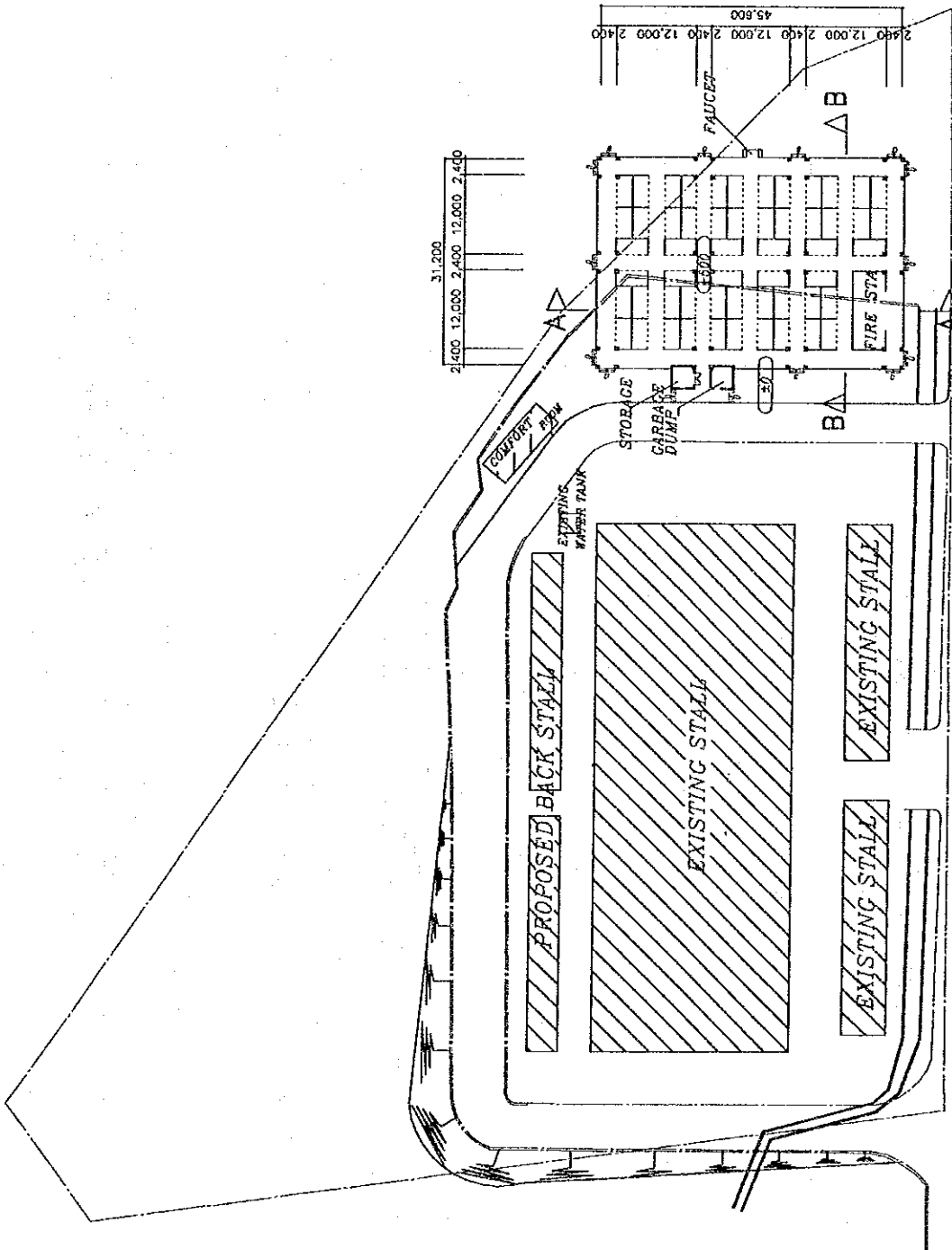
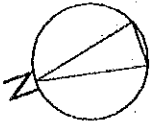
		Sales Counter	Planned floor area (m ²)	Basis for Estimation			
				Unit to be utilized	Estimated No. of stores	Planned No. of stores	Comments
Indoor Section	Sales Section	WET Section	Fish	1.2m×2.4m 2.88m ²	-	-	-
			Meat	1.2m×2.4m 2.88m ²	-	-	-
		SEMI-WET Section	Cereals	2.4m×4.8m 11.52m ²	-	-	-
			Vegetables/ Fruits	2.4m×2.4m 5.76m ²	-	-	-
			Dried fish	1.2m×2.4m 2.88m ²	-	-	-
		GEN-MERCH Section	Clothing Footwear	2.4m×4.8m 11.52m ²	-	55	as for the Modular Approach
			Groceries, Food stuffs, daily goods	2.4m×4.0m 9.6m ²	-	-	-
		Cafeteria	4.0m×6.0m 24.0m ²	-	-	-	
		Other	2.4m×2.4m 5.76m ²	-	-	-	
		Total	633.60			55	
Indoor Section	Administrative and Common Areas	Administration Office	-	-	-	Existing	
		Potential Area	-	-	-	Existing	
		Ice house Area	-	-	-	-	
		Toilets	-	-	-	Existing	
		Equipment machinery room	-	-	-	-	
		Storage	-	-	-	-	
		Corridors	870.86	Corridor width 2.4m	-	-	so that carts can pass by each other
Building Area TOTAL	1,504.46						
Indoor Section	Ancillary Facilities	Unloading dock, Auction area	-	-	-	-	
		Equipment machinery Room	7.20			Distribution board 1m×3m + Inspection corridor 1.2m	
		Rubbish collection Area	5.76	0.064m ² /store		0.064×55 stores=3.52m ²	
		Storage	12.96	0.13m ² /store		0.13×55 stores=7.15m ²	
		Water outlet	2.88	1 location/10 units		6 units÷10=0.6 1 location(1 location 2.88m ²)	
		Corridors (Stairs, slope etc.)	50.58				
		TOTAL	79.38				
Slaughter House		285.61m ²	as per the slaughter house guide lines				



Site plan

TOLEDO MARKET (Reference Project)

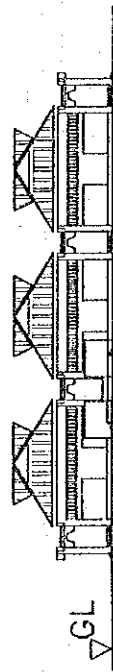




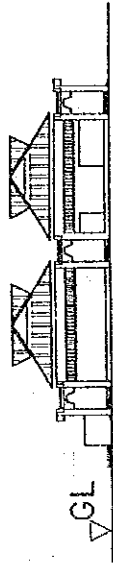
0 5 10 30m

TOLEDO MARKET
(Reference Project)

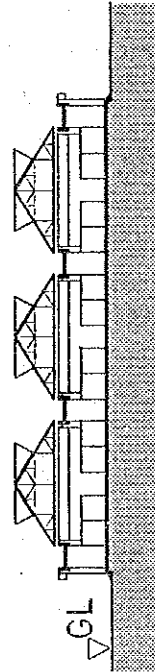
Ground Floor Plan



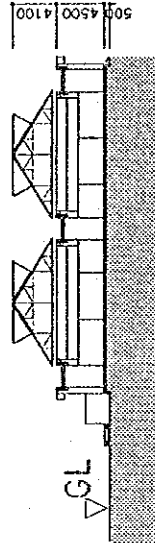
West elevation



South elevation



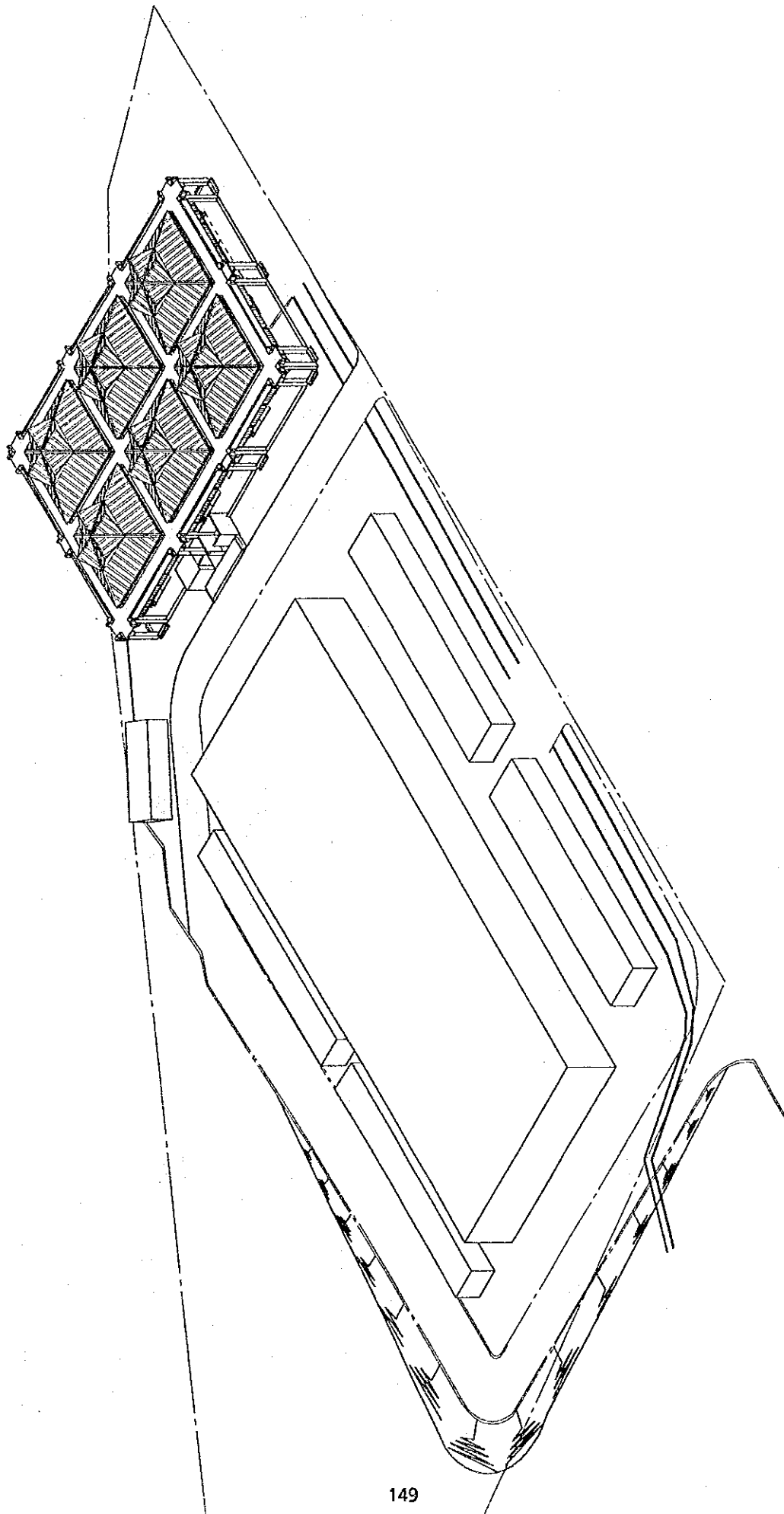
A-A section



B-B section

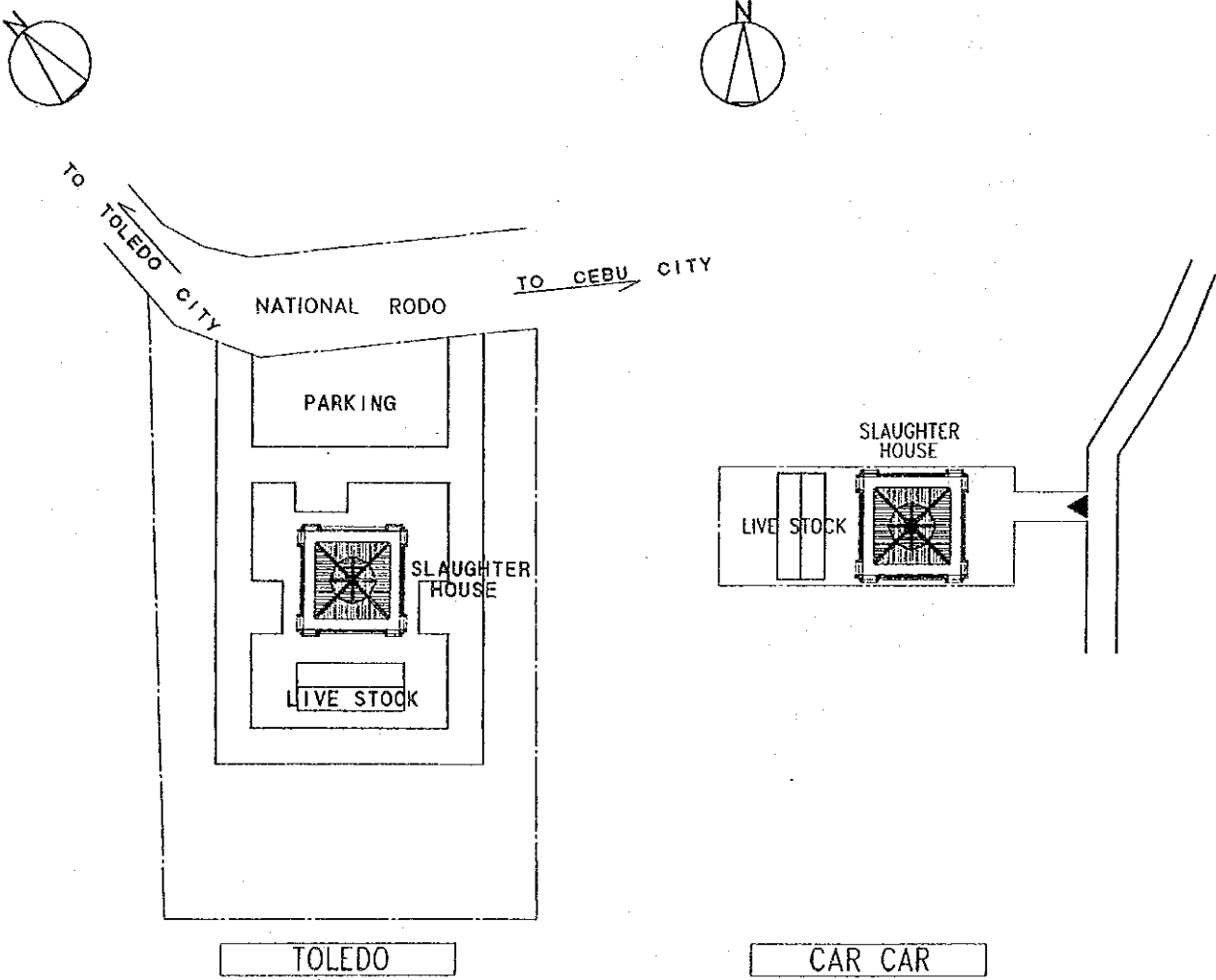


TOLEDO MARKET
(Reference Project) Elevation Section

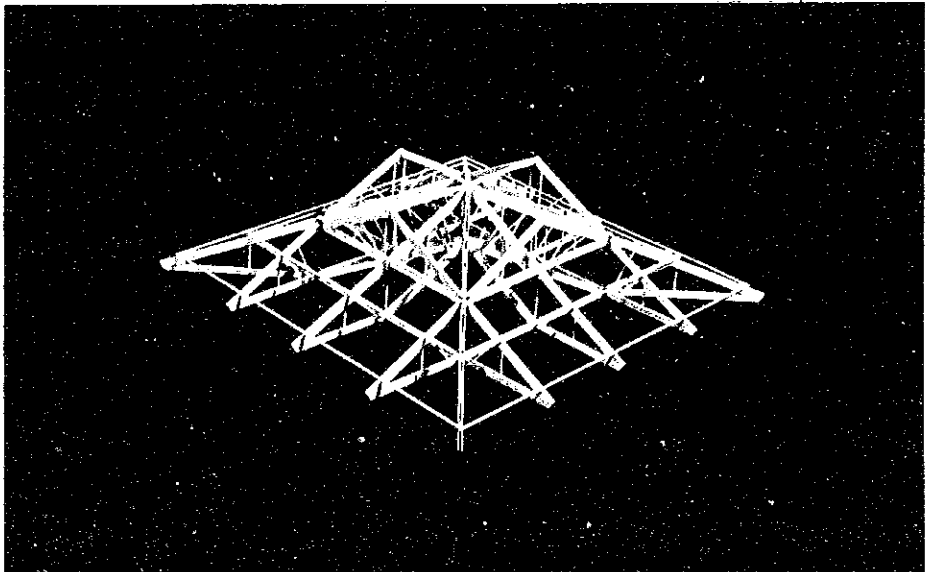
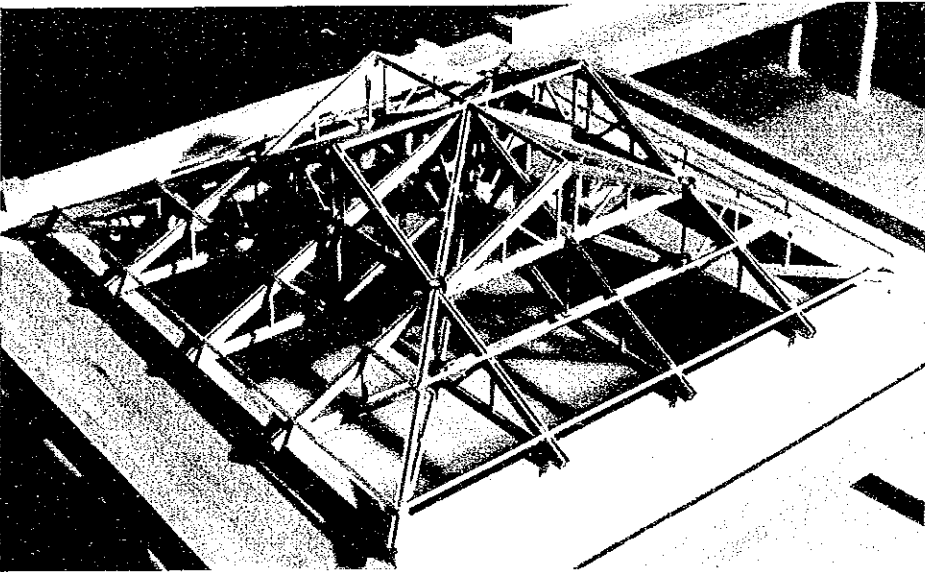
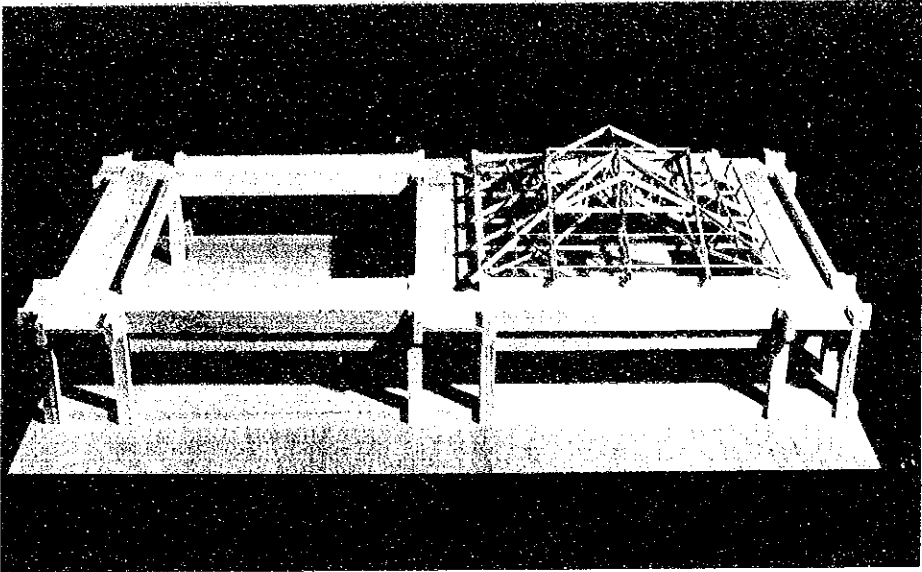


TOLEDO MARKET
(Reference Project) Isometric View

CarCar Town, Toledo Slaughter House Location Map (Reference Project)



STRUCTURE MODEL



JICA